Project:	**253-255 Oxford St, Bondi Junction**
Client	Legacy Property
Project No:	12-133
Date:	Jul-14

Site area (m2)	1,171
Waverley LEP 2012	
Maximum Allowable FSR (Cl.4.4 of WLEP 2012) (n:1)	6
Maximum Allowable GFA (Cl.4.4 of WLEP 2012) (m2)	7,026
Total GFA of Proposed Development (m2)	7,871
GFA (Affordable Housing Incentive Claimed) Cl.4.4B of WLEP 2012 (m2)	845
% GFA (Affordable Housing Incentive Claimed) Cl.4.4B of WLEP 2012	12%
Total Affordable Housing Floor Space (Cl.4.4B(4)(a)) (m2)	427 4
% Total Affordable Housing Floor Space of the Total AFHI	50.53%
Waverley DCP 2012	
Adaptable Units	10%

Affordable Housing Provided

Allocated Units	**Total Area (m2)**
4.02, 4.03, 5.02, 5.03, 19.03, 19.05, 20.04, 20.05 4	427 4

Waverley DCP 2012 requirements

Car Parking Requirements	**Max. Rate**	**Quantity (Area (m2) or Units (no.))**	**Max. Allowable Spaces**
Retail	2/100m²	352	7.0
Subtotal			**7.0**
Studio	0.6	6.0	3.6
1 bdrm	0.6	57.0	34.2
2 bdrm	0.8	29.0	23.2
3 & 4 bdrm	1.2	8.0	9.6
Subtotal	**0.6**	**100.0**	**70.6**
Visitor	1/7 after 12 units		12.6
Maximum Car Spaces Required		**100**	**90.2**

4	04.07.14	LEC APPEAL AMENDS	AC	ND
3	02.07.14	LEC APPEAL	AC	ND
2	01.07.14	LEC APPEAL	AC	ND
1	13.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND
REV	DATE	DESCRIPTION	DR	CHKD BY

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SURVEYOR SURVCHECK PHONE 02 9661 3929
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STRUCTURAL ENGINEER BG&E PHONE 02 9770 3300
INTERIOR ENGINEER HARRIS PAGE & ASSOCIATES PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH PHONE 02 9419 4100
BCA DAMIAN O'TOOLE PHONE 02 9690 0464
CONTAMINATION EIS PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE PHONE 02 8332 5600
ARBORIST TREE IQ PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT LEGACY PROPERTY PHONE 02 9252 1111

DRAWING
DEVELOPMENT SUMMARY SHEET

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-001	4
SCALE @ A1	DATE	DRAWN / CHECKED
NTS	01.07.14	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Reece Hodge (3124)
Reg number No. 3484

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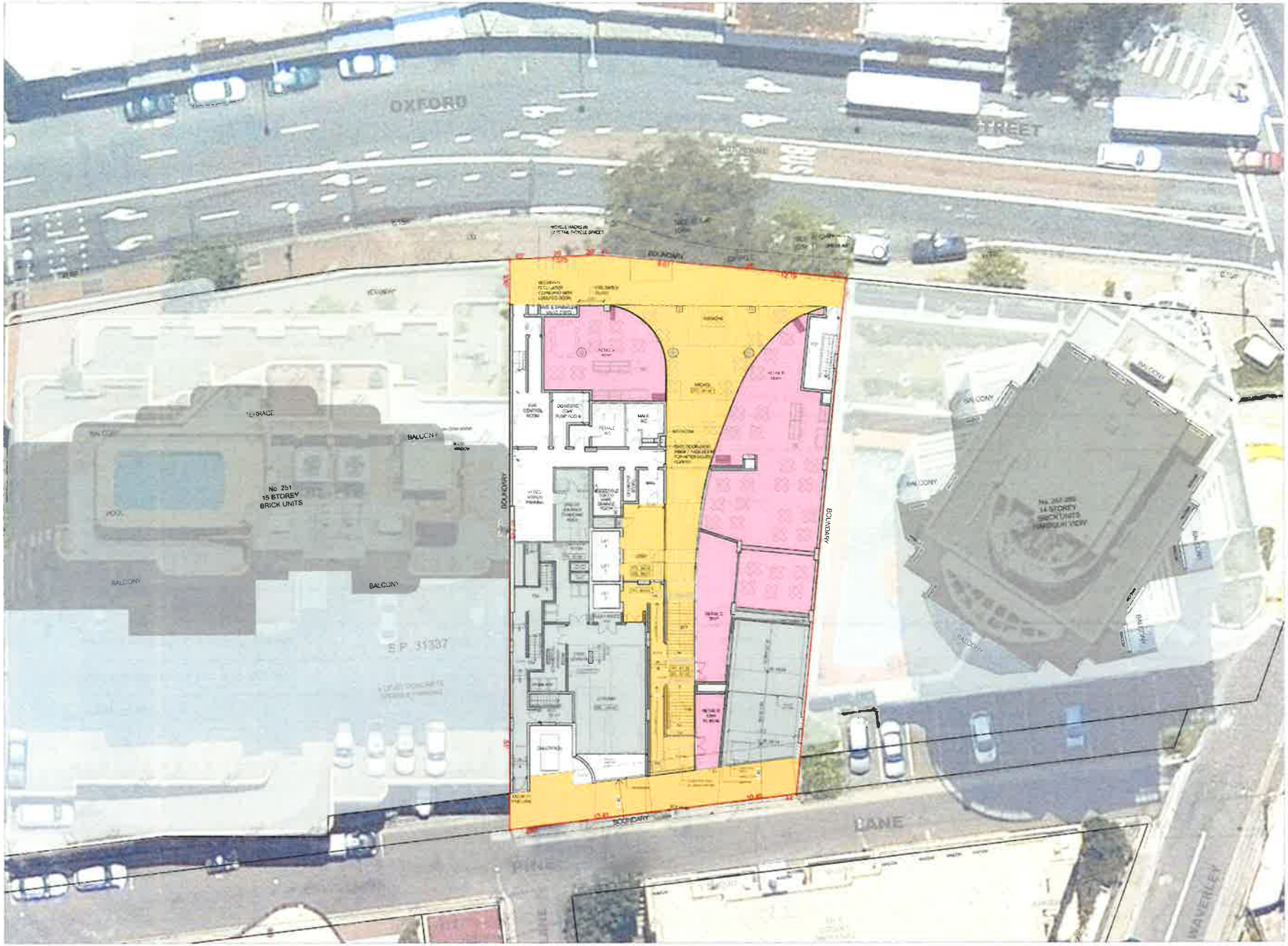

REV	DATE	DESCRIPTION	CK	BY
2	09.07.13	LCC APPROVAL	AC	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
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HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1800
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BCA DAMIAN O'TOOLE	PHONE 02 9630 0464
CONTAMINATION EIS	PHONE 02 9888 5000
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ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
SAFE ACCESS WINDTECH	PHONE 02 9587 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
SITE PLAN

PROJECT NO	DRAWING NO	REVISION
12-133	DA-101	2
SCALE @ A3	DATE	DRAWN / CHECKED
1:300	04.11.13	AC/ND

STATUS
DEVELOPMENT APPLICATION

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New Zealand Architect
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Registration No. 5364

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REV	DATE	DESCRIPTION	DR	CH
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
SITE ANALYSIS PLAN

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-102	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	05.11.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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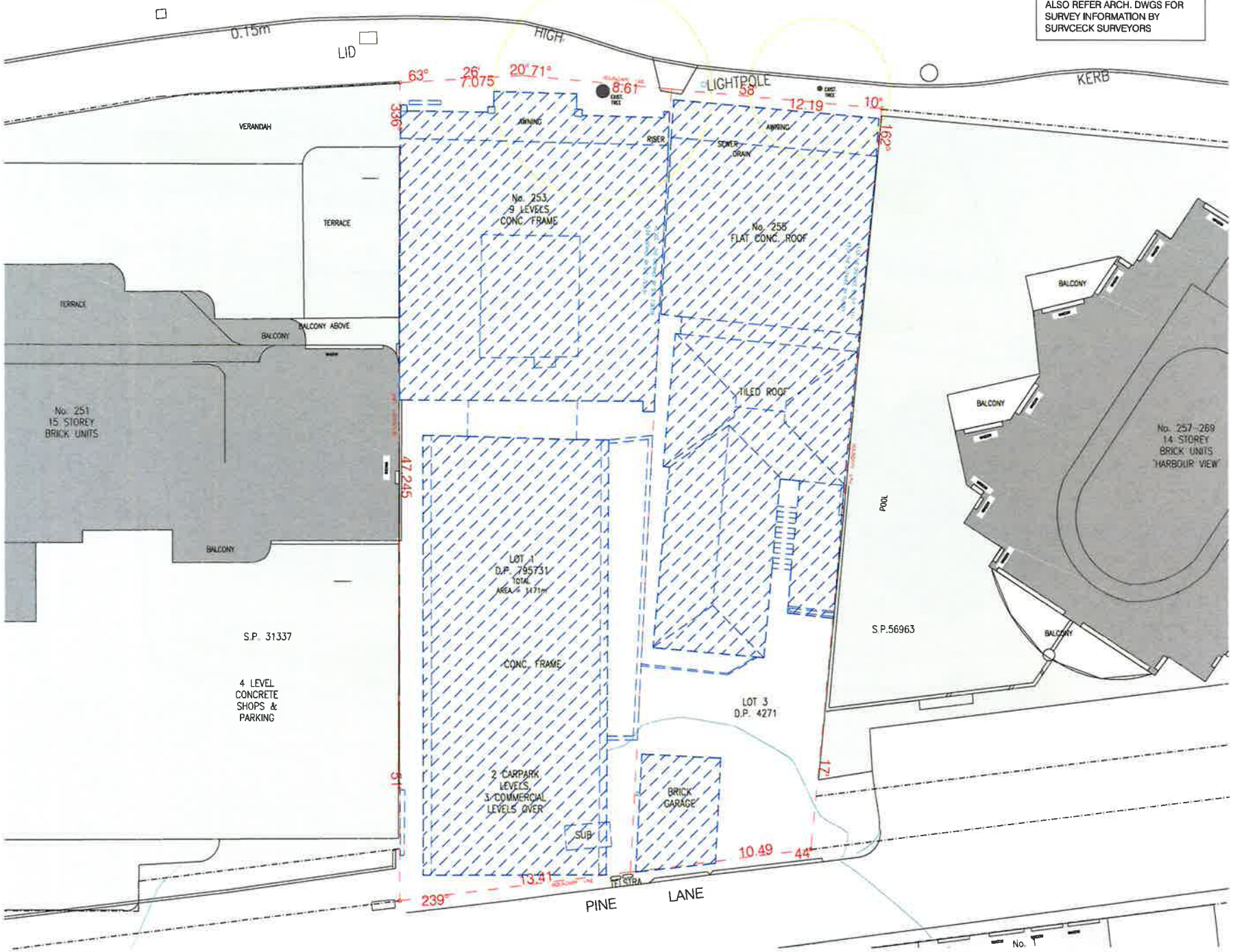
NOTE:
ALSO REFER ARCH. DWGS FOR SURVEY INFORMATION BY SURVCECK SURVEYORS



REV	DATE	DESCRIPTION	DR	DR
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
DEMOLITION PLAN

PROJECT NO	DRAWING NO	REVISION
12-133	DA-103	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:100	05.11.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Robert Nigel Dickson
Registration No: 5394

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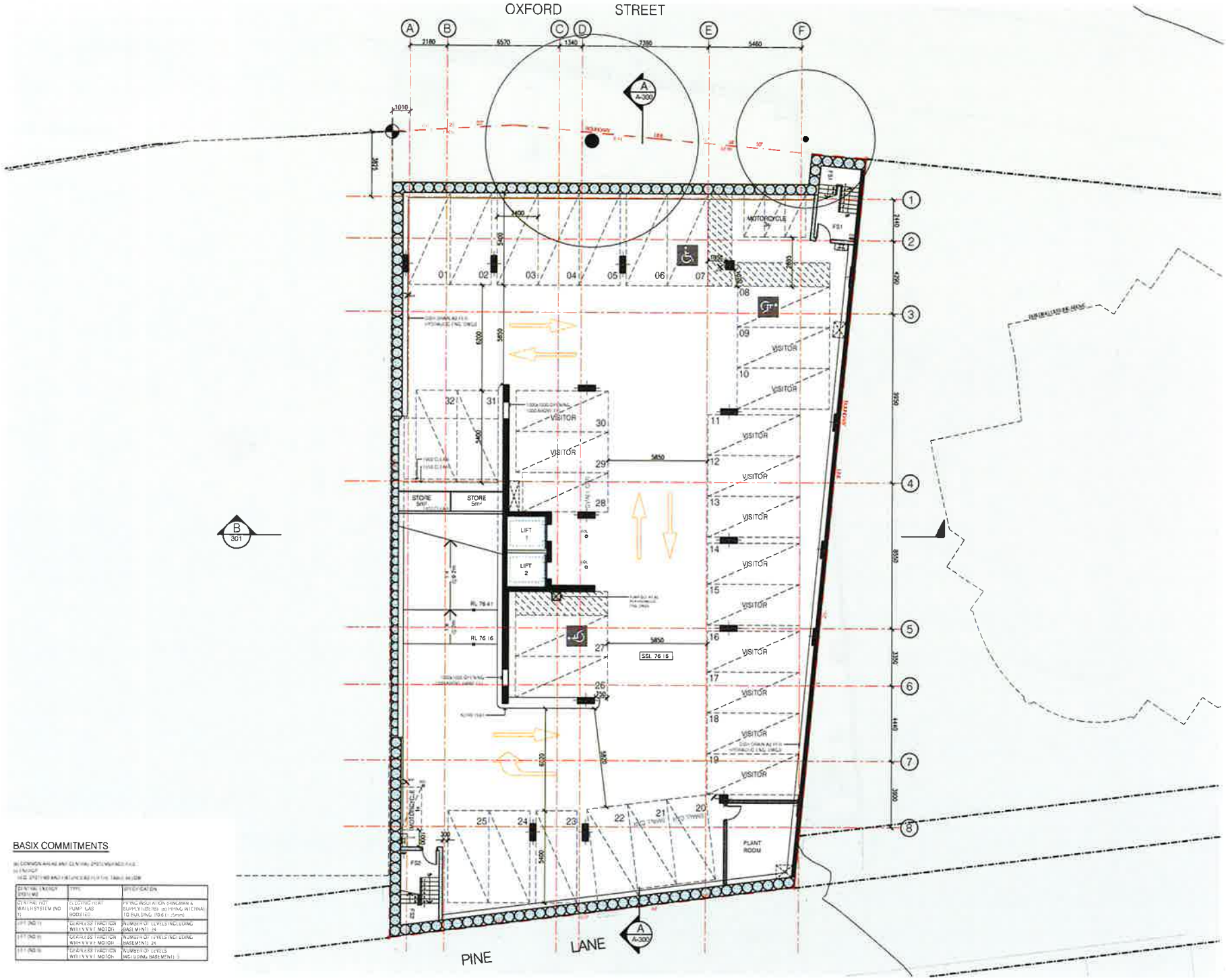

BASIX COMMITMENTS

CENTRAL ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (NO 1)	ELECTRIC HEAT PUMP - GAS BOOSTED	PIPING INSULATION (HINGMAN & SUPPLY NOBLESS) (B) PIPING INTERNAL TO BUILDING 70% (~25mm)
LIFT (NO 1)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT) 24
LIFT (NO 2)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT) 24
LIFT (NO 3)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT) 3

1	13.11.13	ISSUED FOR DEVELOPMENT APPLICATION

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND HEIGHT/WIND WINDTECH	PHONE 02 9567 0722
ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
BASEMENT 3

PROJECT NO	DRAWING NO	REVISION
12-133	DA-200	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:100	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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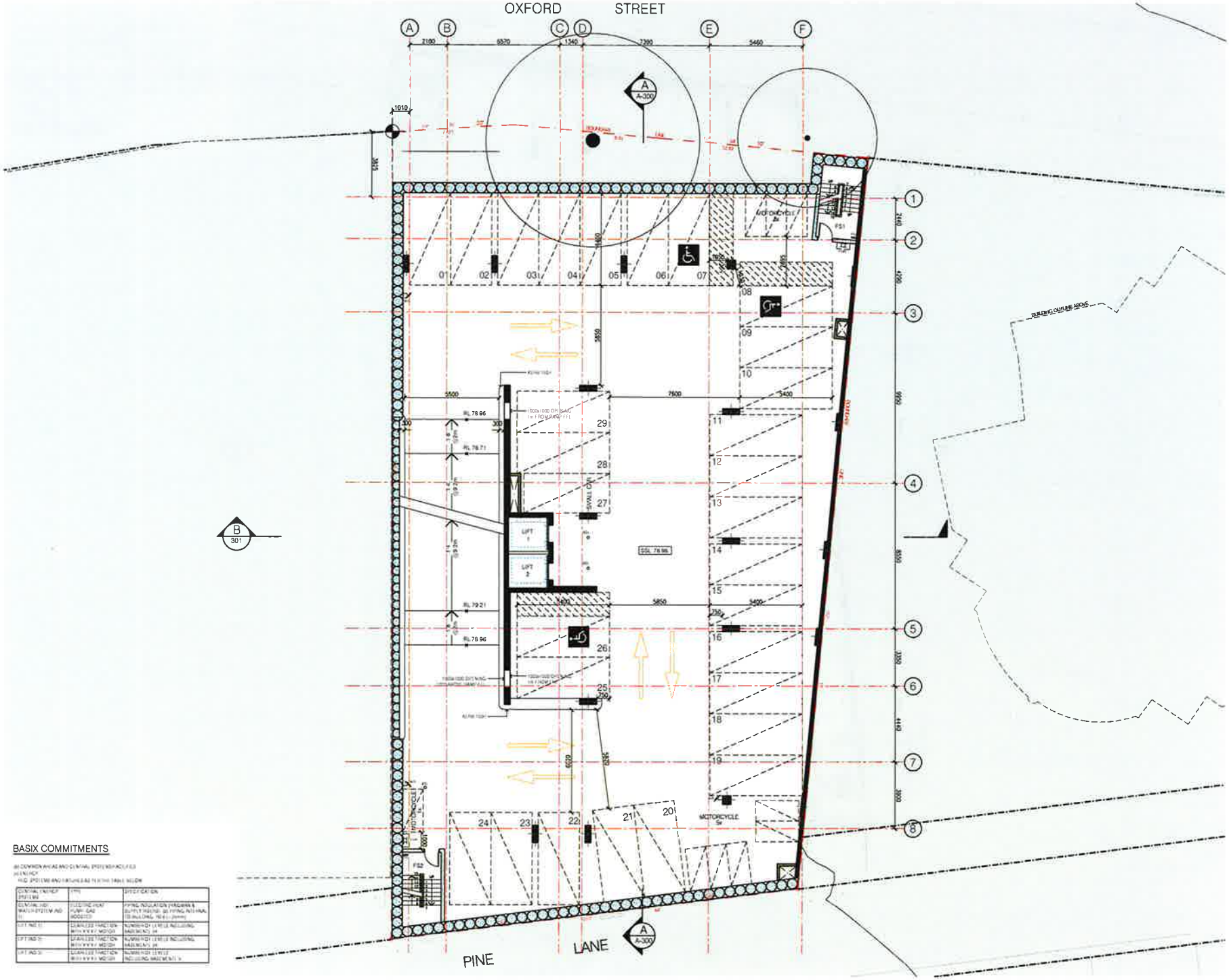
0 2.5 5 7.5 1:100



1	13.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND ENGINEER WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
BASEMENT 2

PROJECT NO	DRAWING NO	REVISION
12-133	DA-201	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:100	24.10.13	AC/ND

ISSUE
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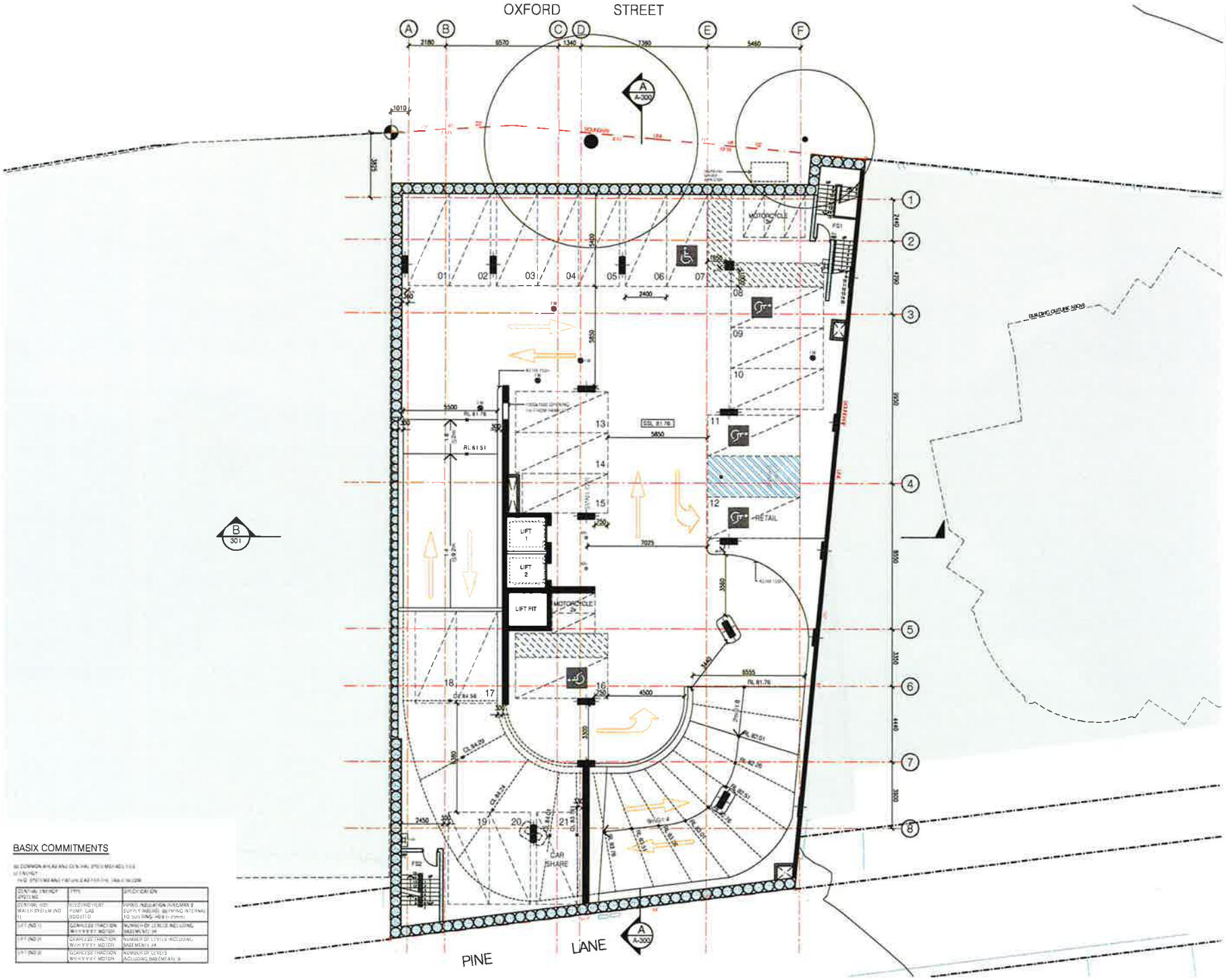
0 2.5 5 7.5 1 100

BASIX COMMITMENTS

[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]



1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REVIEW/INFO WINDTECH	PHONE 02 9567 0722
ACOUSTICS CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT: LEGACY PROPERTY — PHONE: 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
BASEMENT 1

PROJECT NO	DRAWING NO	REVISION
12-133	DA-202	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:100	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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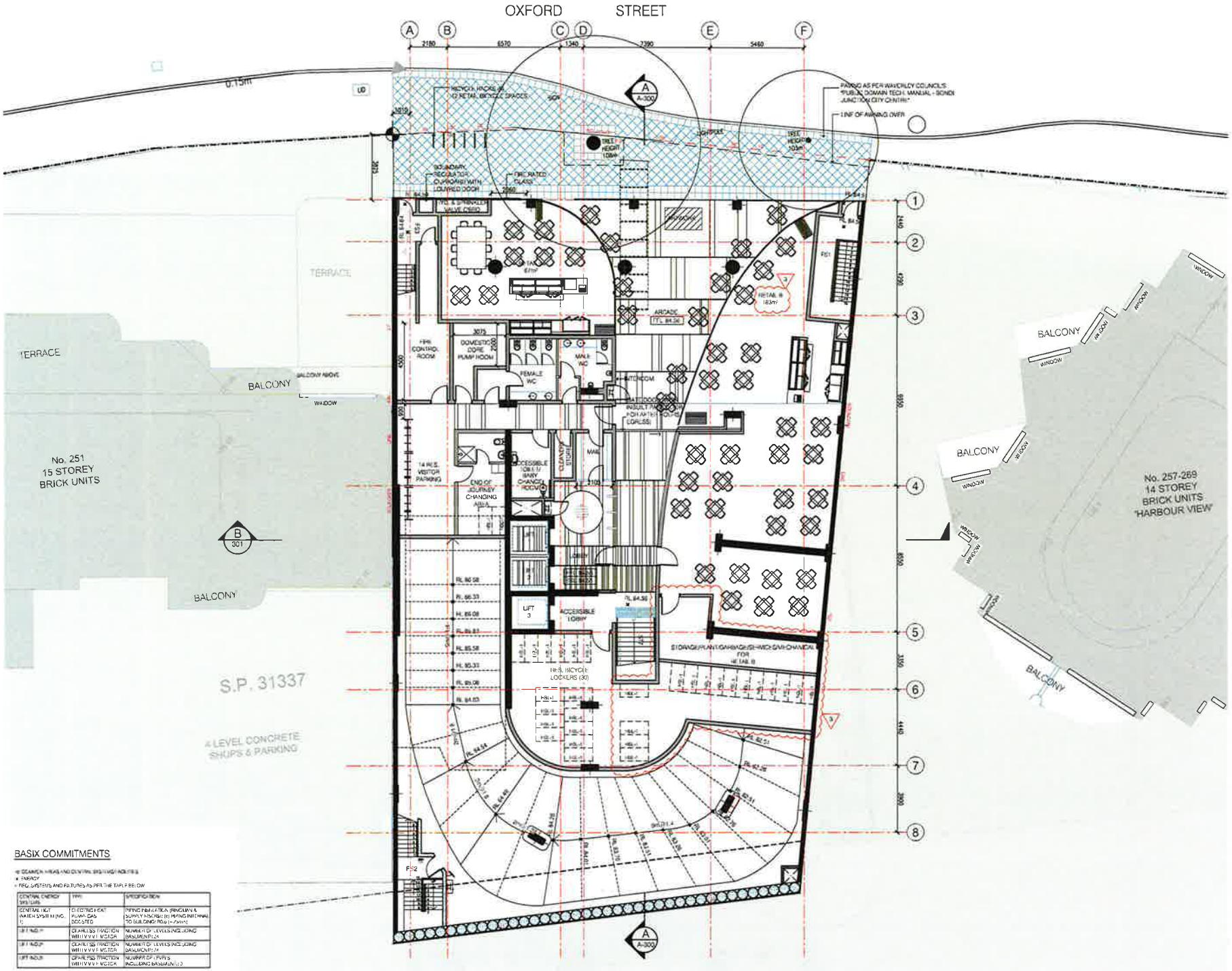
0 2.5 5 7.5
1 : 100

BASIX COMMITMENTS

CENTRAL ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (NO 1)	ELECTRIC HEAT PUMP - GAS BOOSTED	PIPING INSULATION (HEADER & SUPPLY INSULATED, 80% PIPING INTERNAL TO BUILDING, 40 & 1-20mm)
LIFT (NO 1)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 24
LIFT (NO 2)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 24
LIFT (NO 3)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 24



BASIX COMMITMENTS

- COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES
- ENERGY
- REQ. SYSTEMS AND FEATURES AS PER THE TABLE BELOW

CENTRAL ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (INC. 1)	ELECTRIC HEAT PUMP-GAS BOOSTED	PIPING INSULATION (RINGMAIN & SUPPLY RISERS) (EXCLUDING INTERNAL TO SUBJECT ROOM/PARKING)
LIFT GROUP	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT GROUP	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT GROUP	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 3

REV	DATE	DESCRIPTION	CH	DRAWN APPD
3	04.07.14	DEC APPROVAL - AMENDED	AC	ND
2	01.07.14	DEC APPROVAL	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT: DICKSON ROTHSCHILD PHONE: 02 9252 2215
PLANNER: MECONE PHONE: 02 9667 6668
SURVEYOR: SURVCHECK PHONE: 02 9661 3929
TRAFFIC CONSULTANT: TTPA PHONE: 02 9411 5660
STRUCTURAL ENGINEER: BG&E PHONE: 02 9770 3300
HYDRAULIC ENGINEER: HARRIS PAGE & ASSOCIATES PHONE: 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER: FLOTH PHONE: 02 9419 4100
BASIX: DAMIAN O'TOOLE PHONE: 02 9690 0464
CONTAMINATION: EIS PHONE: 02 9888 5000
LANDSCAPE ARCHITECT: SITE IMAGE PHONE: 02 8332 5603
ARBORIST: TREE IQ PHONE: 0404 424 264
BCA: STEVE WATSON & PARTNERS PHONE: 02 9283 6555
MECHANICAL ENGINEER: WINDTECH PHONE: 02 9667 0722
ACOUSTIC CONSULTANT: ACOUSTIC LOGIC PHONE: 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT: LEGACY PROPERTY PHONE: 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 1

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-203	3
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Nominated Architect
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Registration No. 5364

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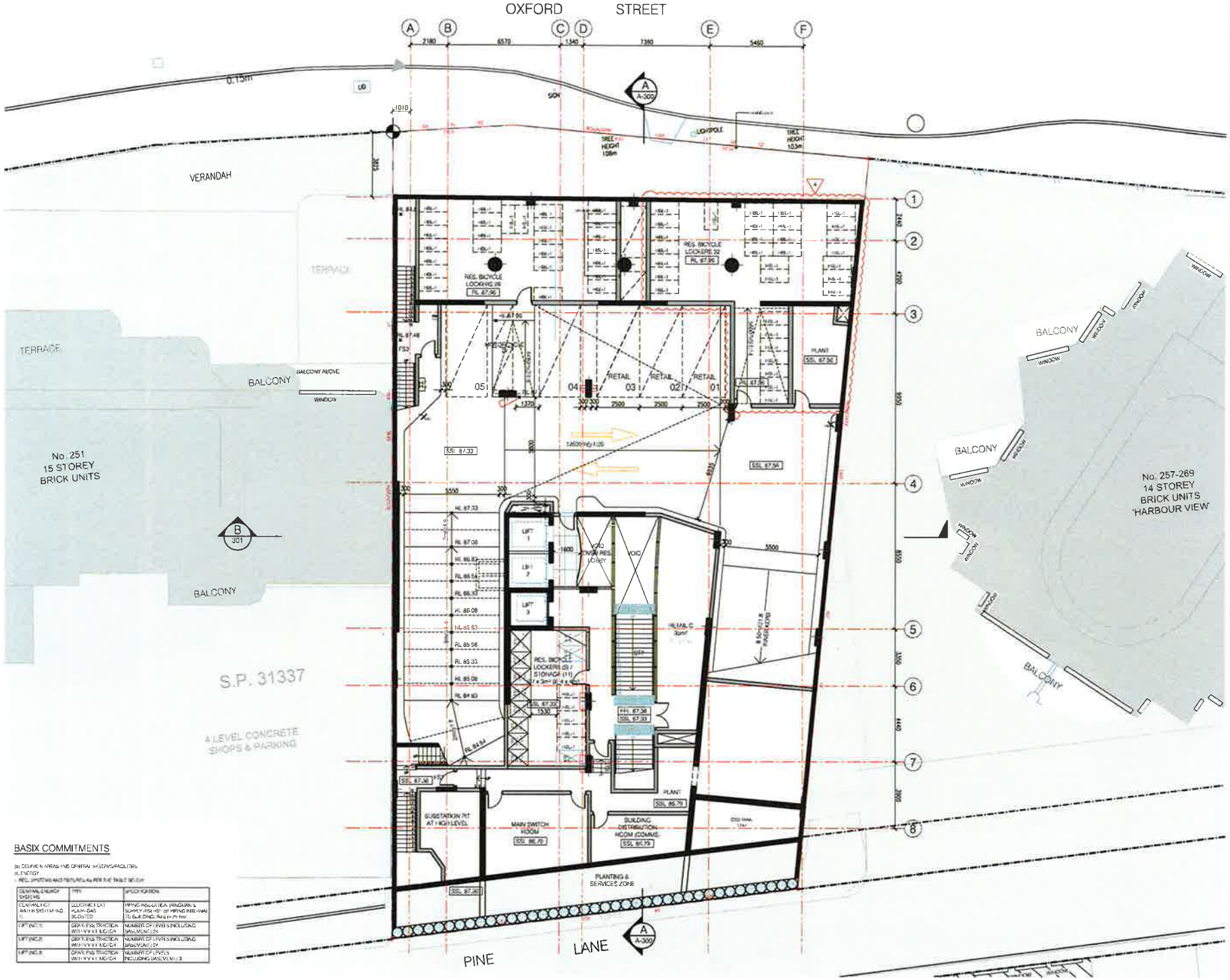
0 2.5 5 7.5 1 : 200



BASIX COMMITMENTS

(b) COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES
(i) ENERGY
- REF. LIGHTING AND FIXTURES As PER THE TABLE BELOW

CENTRAL ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM AND	ELECTRICITY HEAT PUMP GAS BOOSTED	PIPING INSULATION (PROGRAM S SUPPLY ARE HOT OR PIPING BELOW G TO BUILDING Rv 0 (+2) mm
LIFT (NO.1)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 24
LIFT (NO.2)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 24
LIFT (NO.3)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT 3

4	04.07.14	LEC APPEAL - AMENDED	AC	ND
3	02.07.14	AMENDMENTS FOR COUNT	CK	ND
2	31.06.14	AMENDMENTS FOR COUNT	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND
REV	DATE	DESCRIPTION	DR	CHKD/APPD

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
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MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 9600
ARBORIST TREE IQ	PHONE 0404 474 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND ASSESSMENT WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 2

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-204	4
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

STATUS
DEVELOPMENT APPLICATION

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Nominated Architect
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Registration No. 5364

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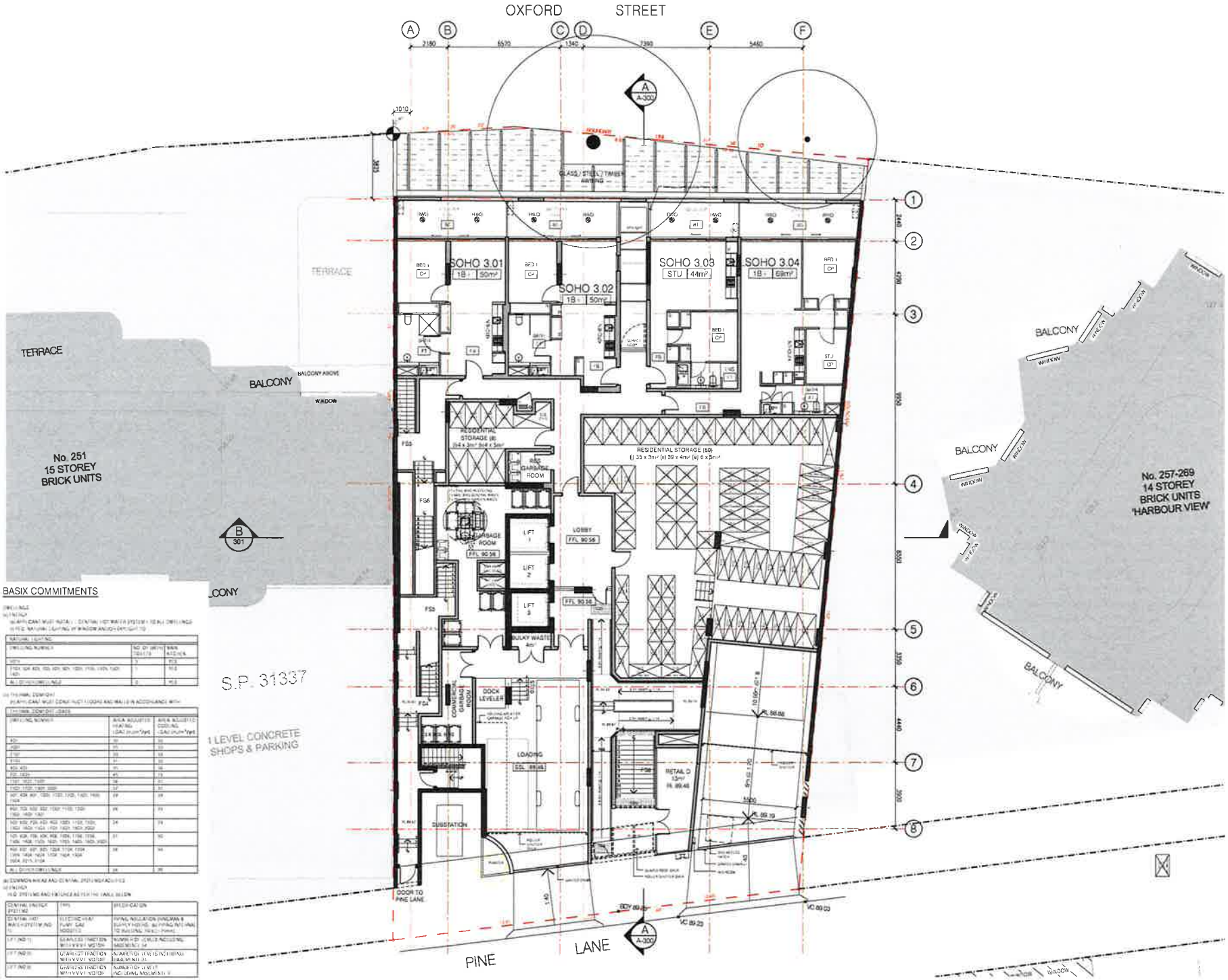
0 2.5 5 7.5 1 : 200



BASIX COMMITMENTS

NATURAL LIGHTING		
DWELLING NUMBER	NO. OF BRM TOILETS	MAIN KITCHEN
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
ALL DWELLINGS	[illegible]	[illegible]

THERMAL COMFORT	AREA ACOUSTIC HEATING LOAD (kWh/m²/yr)	AREA ACOUSTIC COOLING LOAD (kWh/m²/yr)
[illegible]	[illegible]	[illegible]
ALL DWELLINGS	[illegible]	[illegible]

CENTRAL ENERGY SYSTEM	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (NO. [illegible])	ELECTRIC HEAT PUMP CAP. [illegible]	PIPING INSULATION (INDOOR & SUPPLY PIPING, ALL PIPING INTO HAB. TO INCLUDE TRACE PIPING)
LIFT (NO. [illegible])	GEARLESS TRACTION WITHOUT VOTOR	NUMBER OF LIFTS INCLUDING MACHINERY [illegible]
LIFT (NO. [illegible])	GEARLESS TRACTION WITHOUT VOTOR	NUMBER OF LIFTS INCLUDING MACHINERY [illegible]
LIFT (NO. [illegible])	GEARLESS TRACTION WITHOUT VOTOR	NUMBER OF LIFTS INCLUDING MACHINERY [illegible]

REV	DATE	DESCRIPTION	CHK	DRAWN BY
1	10.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BCA DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION ES	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ACCESS TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND ENGINEERING WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 3

PROJECT NO	DRAWING NO	REVISION
12-133	DA-205	1
SCALE @ A1	DATE	DRAWN/CHECKED
1:100	24.10.13	AC/ND

STATUS
DEVELOPMENT APPLICATION

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Robert Nigel Dickson
Registration No. 5264

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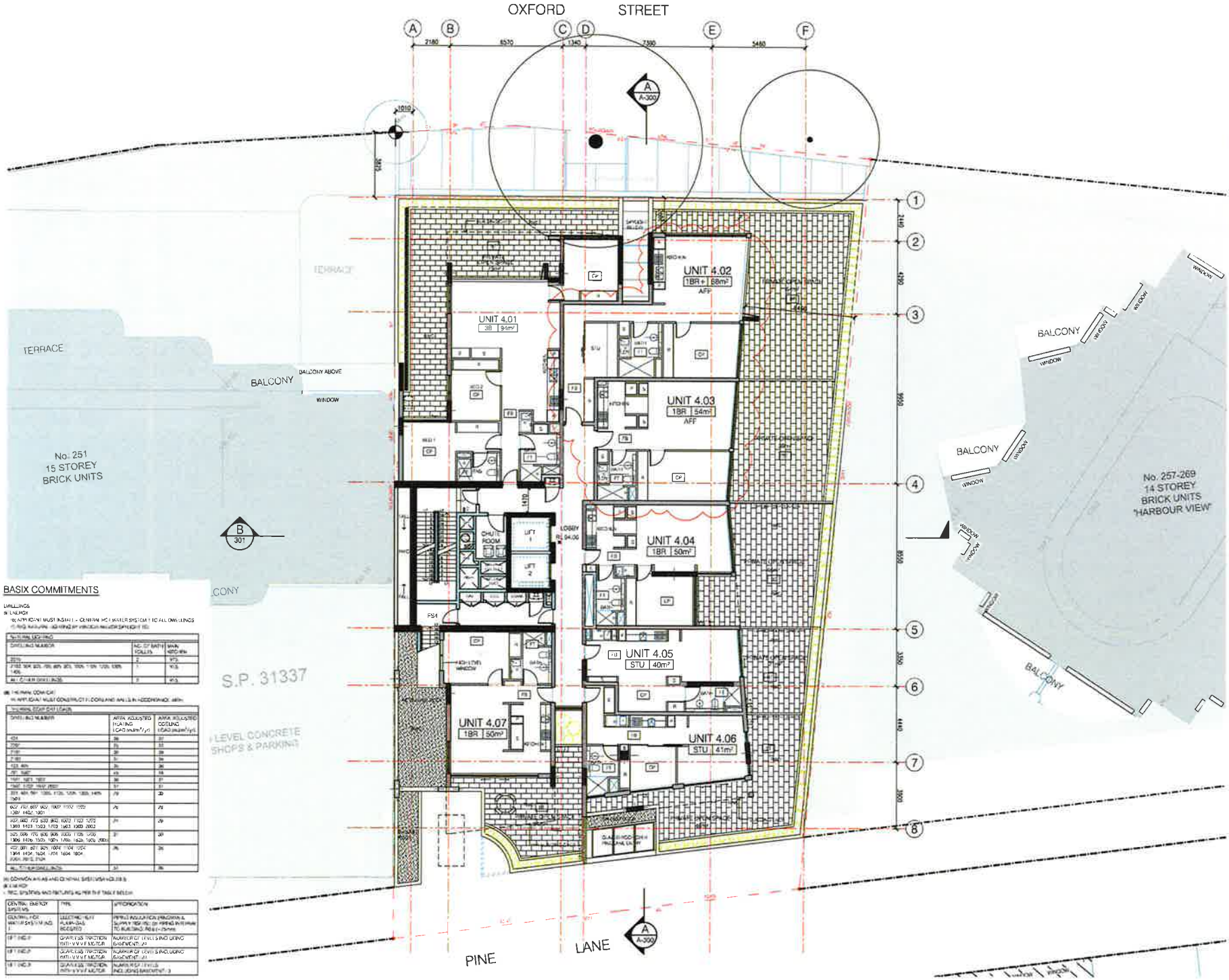
1 : 100



BASIX COMMITMENTS

DWELLINGS

(a) ENERGY

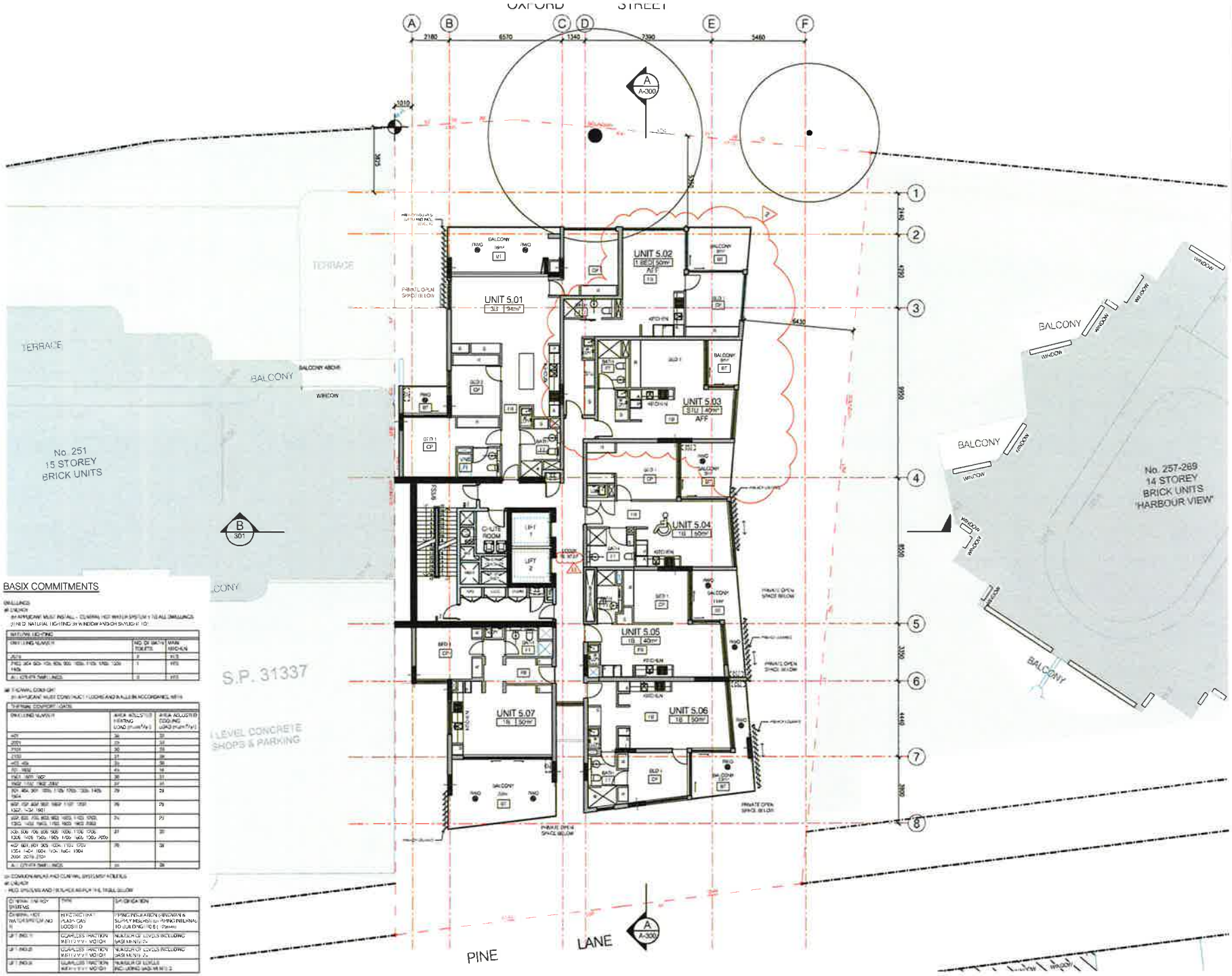
(a) APPLICANT MUST INSTALL - GENERAL HOT WATER SYSTEM TO ALL DWELLINGS

DWELLING NUMBER	NO. OF BATH FOULTS	MAIN KITCHEN
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
ALL OTHER DWELLINGS	[illegible]	[illegible]

(b) THERMAL COMFORT

(a) APPLICANT MUST CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH

DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]



BASIX COMMITMENTS

3	09.07.14	LEC APPEAL - AMENDED
2	01.06.14	AMENDMENTS FOR COURT
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION

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ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 5

PROJECT NO.	DRAWING NO	REVISION
12-133	DA-207	3
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

STAGE
DEVELOPMENT APPLICATION

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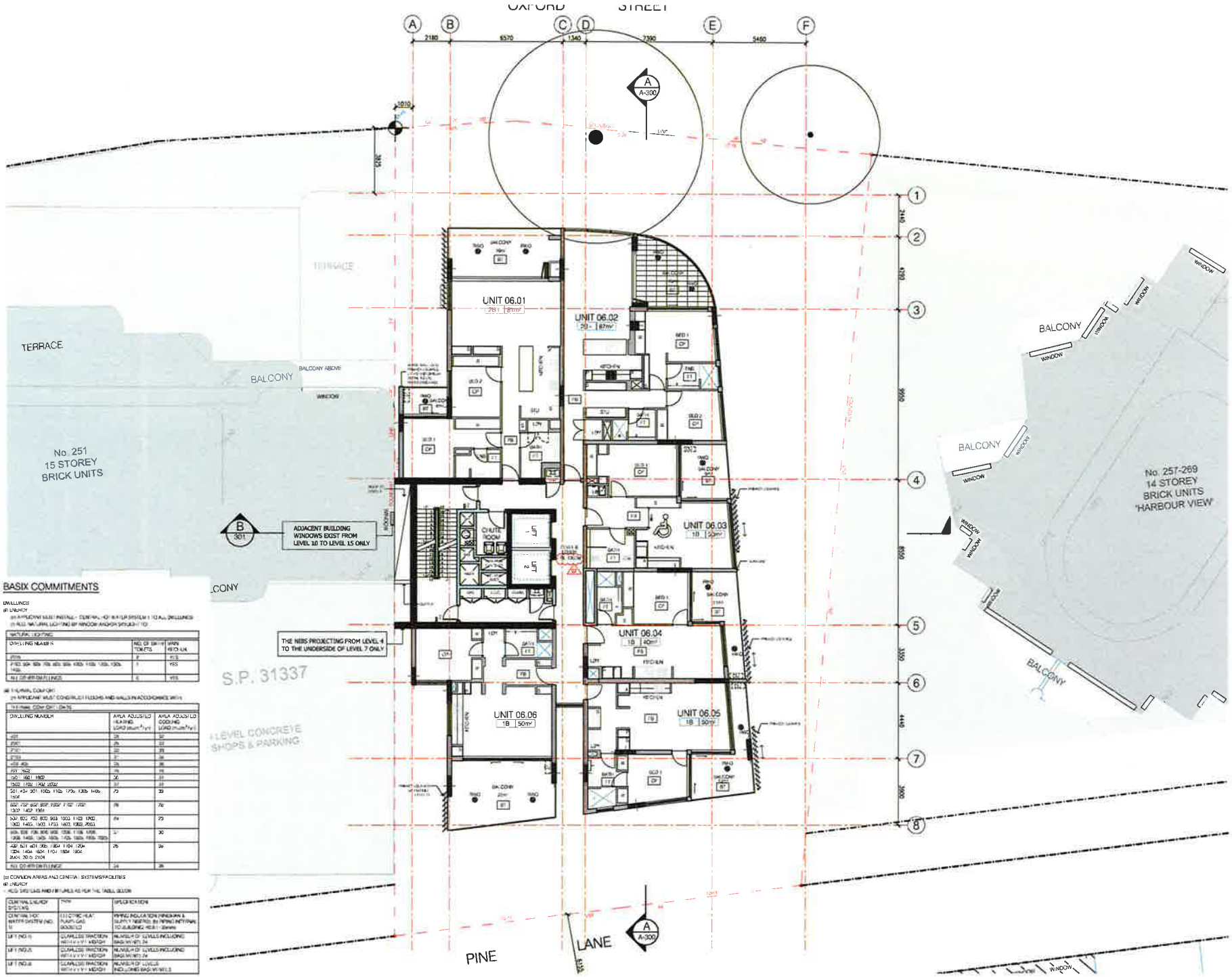

BASIX COMMITMENTS

DWELLINGS

(a) ENERGY

(i) APPLICANT MUST INSTALL - CENTRAL HOT WATER SYSTEM TO ALL DWELLINGS

(ii) ALL NATURAL LIGHTING OF WINDOW AREAS SHOULD NOT

NATURAL LIGHTING		
DWELLING NUMBER	NO. OF BATHROOMS/ TOILETS	MAIN KITCHEN
2B	2	YES
1B	1	YES
ALL OTHER DWELLINGS	1	YES

(b) THERMAL COMFORT

(i) APPLICANT MUST CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH

THERMAL COMFORT DATA		
DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
101	24	32
102	24	33
103	22	33
104	21	34
105	24	36
106	26	35
201, 301, 401	24	31
202, 302, 402	21	31
203, 204, 303, 304, 403, 404, 503, 504	23	29
205, 206, 305, 306, 405, 406, 505, 506, 605, 606, 705, 706, 805, 806, 905, 906, 1005, 1006, 1105, 1106, 1205, 1206, 1305, 1306, 1405, 1406	26	32
207, 208, 307, 308, 407, 408, 507, 508, 607, 608, 707, 708, 807, 808, 907, 908, 1007, 1008, 1107, 1108, 1207, 1208, 1307, 1308, 1407, 1408	24	29
209, 210, 309, 310, 409, 410, 509, 510, 609, 610, 709, 710, 809, 810, 909, 910, 1009, 1010, 1109, 1110, 1209, 1210, 1309, 1310, 1409, 1410	21	30
1001, 1101, 1201, 1301, 1401, 1501, 1601, 1701, 1801, 1901, 2001, 2101	26	36
ALL OTHER DWELLINGS	24	36

(c) COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES

(i) ENERGY

- ALL SPECIFIED AND INSTALLED AS PER THE TABLE BELOW

CENTRAL ENERGY SYSTEMS	NOTES	SPECIFICATIONS
CENTRAL HOT WATER SYSTEM (NO. 1)	ELECTRIC HEAT PUMP GAS BOOSTED	PIPING INSULATION (MINERAL WOOL) & SUPPLY PIPEWORK BY PIPING INSTALLER TO BUILDING HEAT - 20mm
LIFT (NO.1)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT (NO.2)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT (NO.3)	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24

2	09.07.14	LEC APPEAL - AMENDED
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION

ARCHITECT	PHONE
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SURVICHECK	02 9651 3929
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ITPA	02 9411 5660
STRUCTURAL ENGINEER	PHONE
BG&E	02 9770 3300
HYDRAULIC ENGINEER	PHONE
HARRIS PAGE & ASSOCIATES	02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER	PHONE
FLOTH	02 9419 4100
BASIX	PHONE
DAMIAN O'TOOLE	02 9690 0464
CONTAMINATION	PHONE
EIS	02 9888 5000
LANDSCAPE ARCHITECT	PHONE
SITE IMAGE	02 8032 5603
ARBORIST	PHONE
TREE IQ	0404 424 264
BCA	PHONE
STEVE WATSON & PARTNERS	02 9283 6555
WIND PERFORMANCE	PHONE
WINDTECH	02 9557 0722
ACOUSTIC CONSULTANT	PHONE
ACOUSTIC LOGIC	02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 6-14

PROJECT NO.	DRAWING NO	REVISION
12-133	DA-208	2
SCALE (@A1)	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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5 Argyle Place
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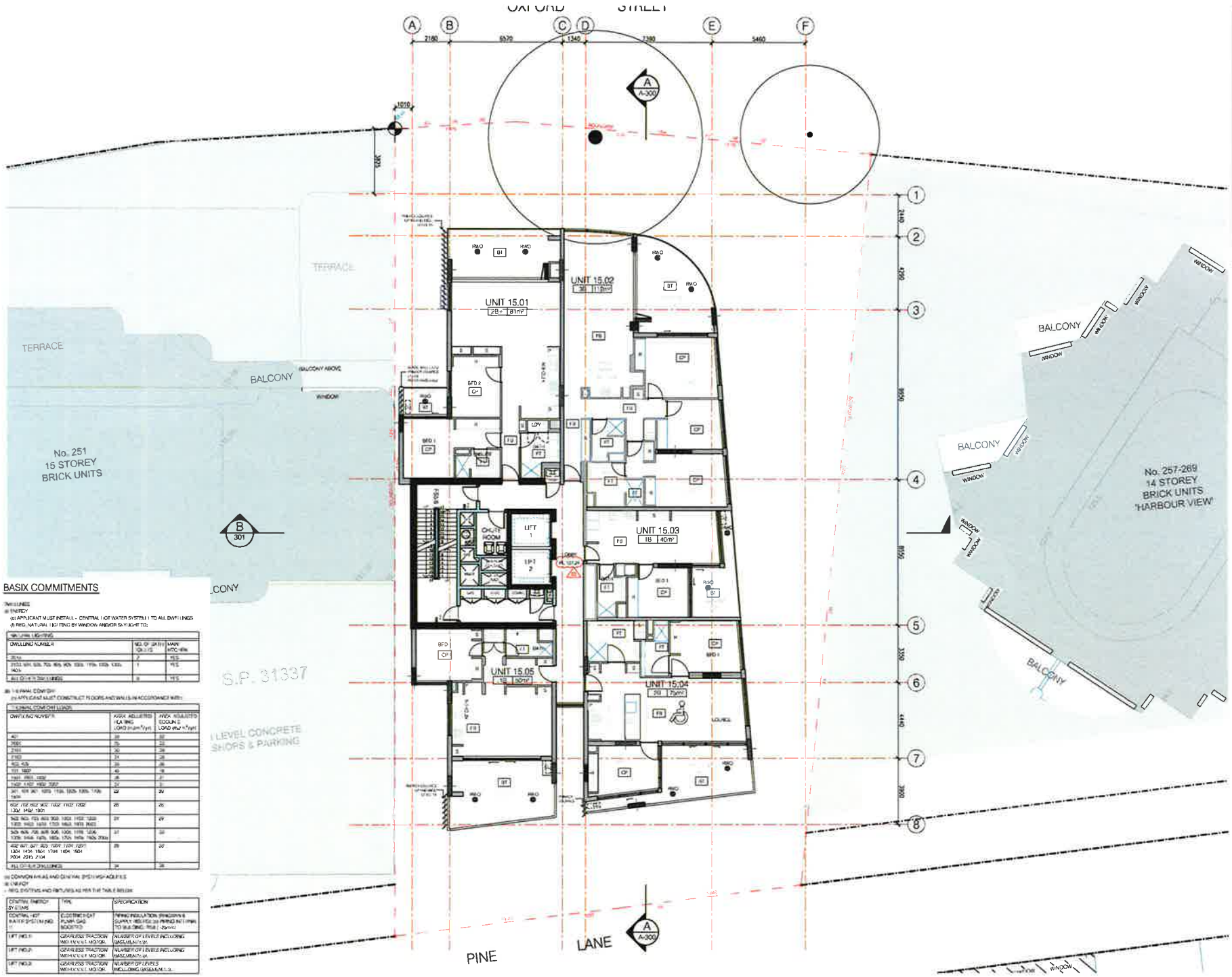


BASIX COMMITMENTS

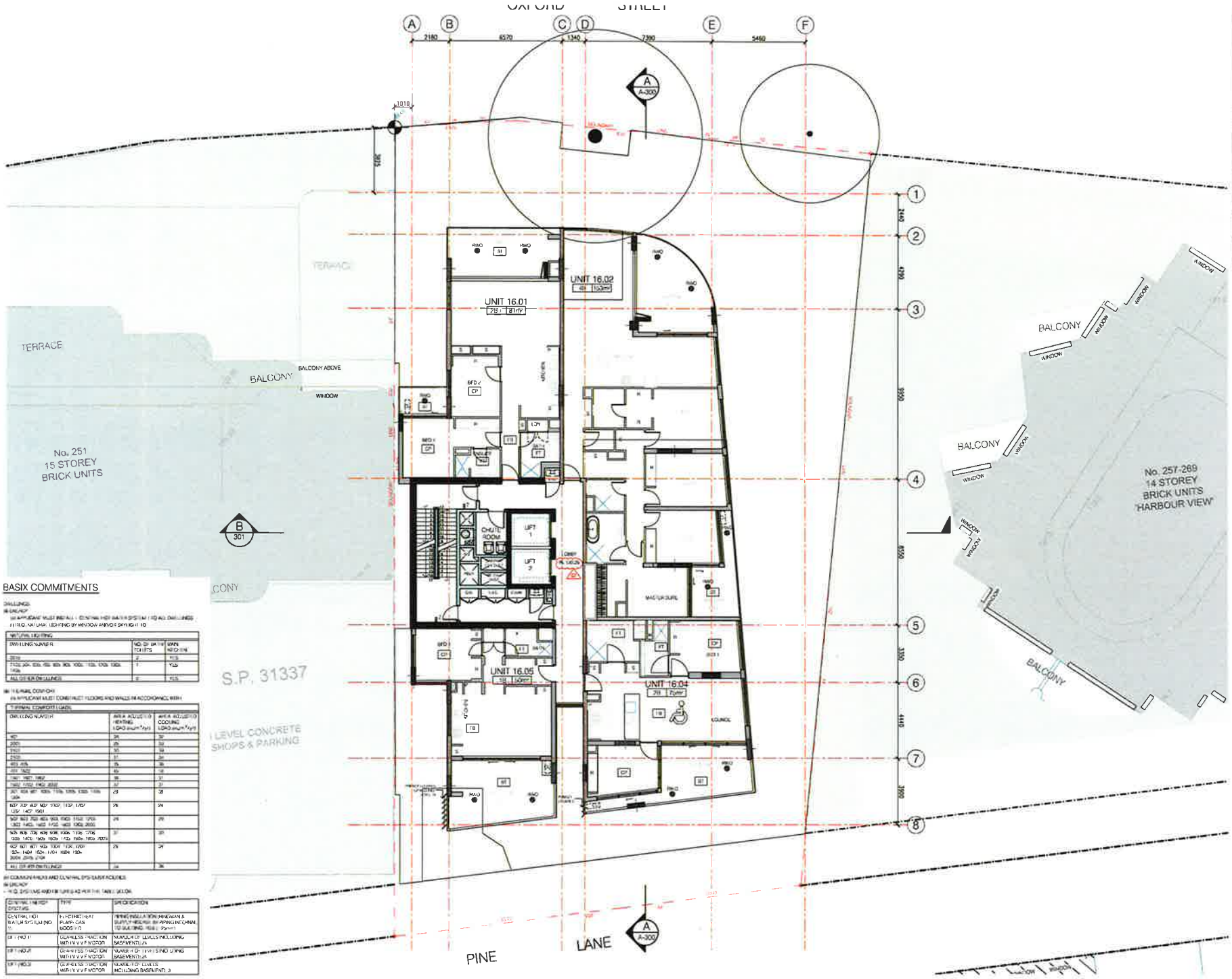
DWELLINGS

(a) ENERGY

(a) APPLICANT MUST INSTALL - CENTRAL HOT WATER SYSTEM 1 TO ALL DWELLINGS

(b) REQ. NATURAL VENTILATION BY WINDOW AND/OR SKYLIGHT TO:

DWELLING NUMBER	NO. OF BATHS	MAIN KITCHEN
201	2	YES
202, 204, 206, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247,



BASIX COMMITMENTS

DWELLINGS

(a) GENERAL

(a) APPLICANT MUST INSTALL CENTRAL HOT WATER SYSTEM TO ALL DWELLINGS

(b) REQ. NATURAL LIGHTING BY WINDOW AND/OR SKYLIGHT TO

NATURAL LIGHTING

DWELLING NUMBER	NO. OF BATHROOMS	MAIN KITCHEN
[illegible]	2	YES
[illegible]	1	YES
[illegible]		
ALL OTHER DWELLINGS	0	YES

(b) THERMAL COMFORT

(a) APPLICANT MUST CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH

THERMAL COMFORT LOADS

DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
101	24	32
201	25	32
301	30	34
401	31	34
501, 601	35	36
701, 1402	40	38
1301, 1501, 1602	36	37
1401, 1502, 1601, 1602	37	37
201, 401, 501, 601, 701, 801, 901, 1001, 1101, 1201, 1301, 1401	29	32
507, 707, 807, 907, 1007, 1107, 1207, 1307, 1407, 1507	26	29
507, 607, 707, 807, 907, 1007, 1107, 1207, 1307, 1407, 1507, 1607, 1707, 1807, 1907, 2007	24	29
505, 605, 705, 805, 905, 1005, 1105, 1205, 1305, 1405, 1505, 1605, 1705, 1805, 1905, 2005, 2105	31	31
407, 507, 607, 707, 807, 907, 1007, 1107, 1207, 1307, 1407, 1507, 1607, 1707, 1807, 1907, 2007, 2107, 2207	26	34
ALL OTHER DWELLINGS	[illegible]	36

(c) COMMON AREAS AND CENTRAL SYSTEM ACCESS

(a) GENERAL

- REQ. SYSTEMS AND FEATURES AS PER THE TABLE BELOW

CENTRAL HOT WATER SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (NO 1)	HYDRONIC HEAT PUMP - GAS BOOSTED	PIPING INSULATION (RINGMAIN & SUPPLY RISERS) BY APPROVED INSULATION TO BUILDING CODE (Pipe)
LIFT (NO 1)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 4
LIFT (NO 2)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 4
LIFT (NO 3)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 3

REV	DATE	DESCRIPTION	DR	CK
2	09.07.14	LDC APPEAL - AMENDED	AC	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
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STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
SEA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 16

PROJECT NO	DRAWING NO	REVISION
12-133	DA-210	2
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Registration No 5084

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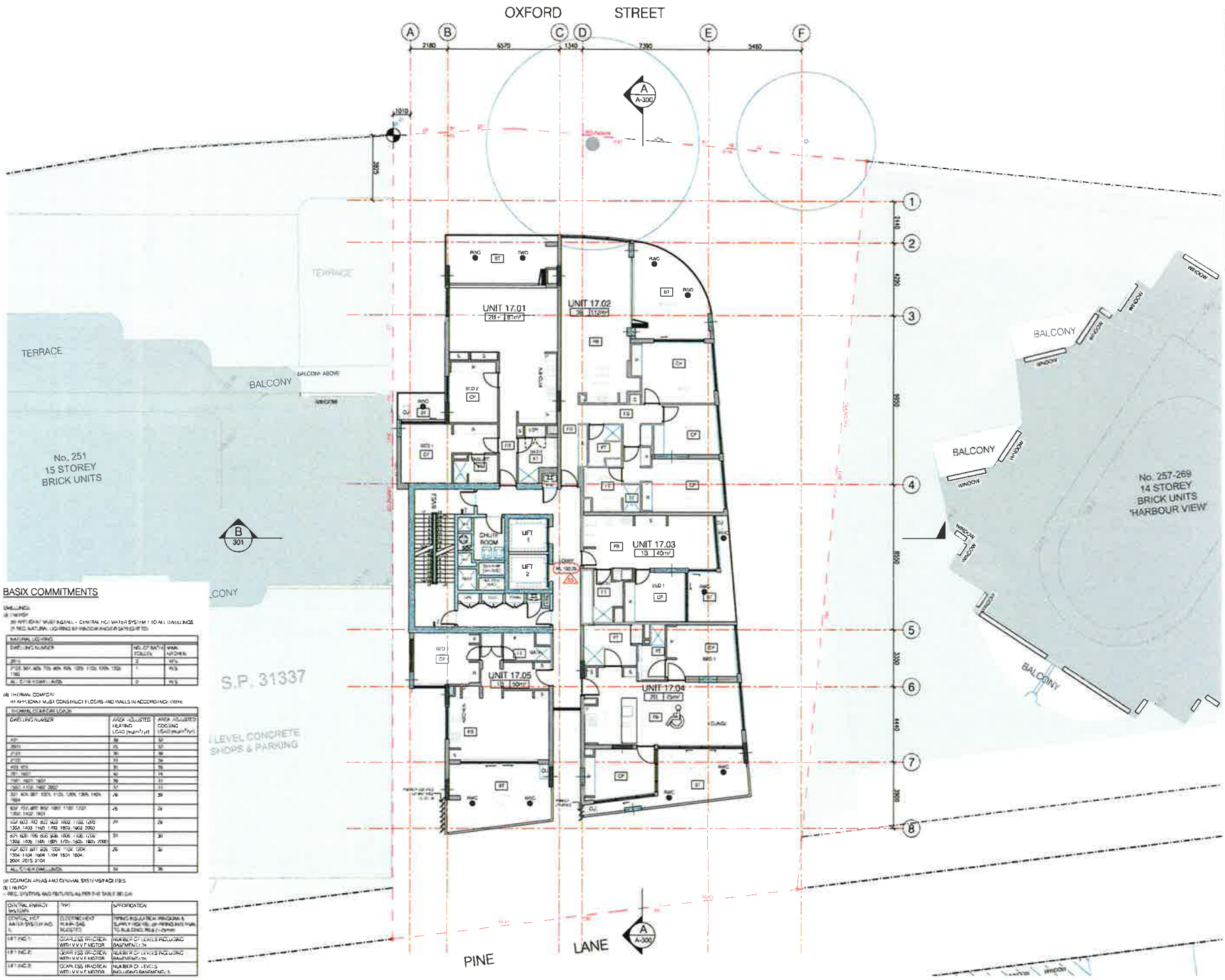

BASIX COMMITMENTS

DWELLINGS

(a) ENERGY

(i) APPLICANT MUST INSTALL - CENTRAL HOT WATER SYSTEM TO ALL DWELLINGS

(ii) NEC NATURAL LIGHTING BY WINDOW AND SKYLIGHT (SEE TOP)

NATURAL LIGHTING		
DWELLING NUMBER	NO. OF BATH ROOMS	NAT. LIGHTING
[illegible]	2	YES
[illegible]	1	YES
ALL OTHER DWELLINGS	2	YES

(b) THERMAL COMFORT

(i) APPLICANT MUST CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH:

THERMAL COMFORT LOADS		
DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
[illegible]	[illegible]	[illegible]
ALL OTHER DWELLINGS	[illegible]	[illegible]

(c) COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES

(b) ENERGY

- REF. SYSTEMS AND FEATURES AS PER THE TABLE BELOW

CENTRAL ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM AND [illegible]	ELECTRICITY HEAT PUMP GAS BOOSTED	PIPING INSULATION PROGRAM & SUPPLY HOT WATER PIPING TO BUILDING [illegible]
LIFT (NO.1)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: [illegible]
LIFT (NO.2)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: [illegible]
LIFT (NO.3)	GEARLESS TRACTION WITH V V V F MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: [illegible]

3	09.07.14	[illegible] - AMENDED	AC	ND
2	01.07.14	[illegible]	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND
REV	DATE	DESCRIPTION	DR	DP

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
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HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
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PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 17

PROJECT NO	DRAWING NO.	REVISION
12-133	DA-211	3
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Registration No: 5484

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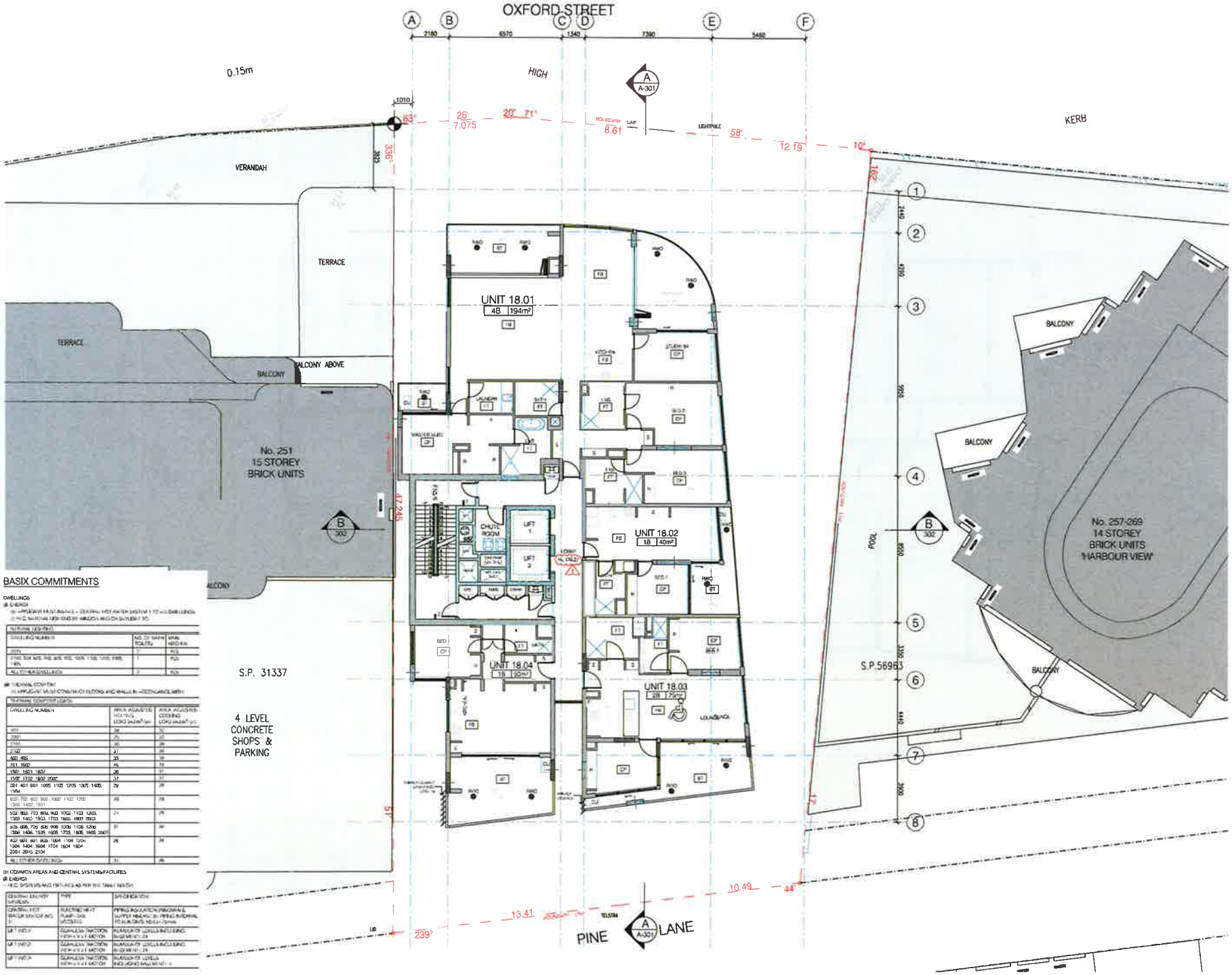

BASIX COMMITMENTS

DWELLINGS

(a) ENERGY

(b) [illegible]

NATURAL LIGHTING		
DWELLING NUMBER	NO. OF BATHROOMS/TOILETS	MAIN KITCHEN
201	1	YES
[illegible]	1	YES
ALL OTHER DWELLINGS	2	YES

(c) THERMAL COMFORT

(i) APPLICANT MUST CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH

THERMAL COMFORT LEVELS		
DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
101	38	32
201	29	30
301	30	29
401	31	28
501, 505	35	30
601, 1502	45	31
1501, 1601, 1602	36	31
1503, 1702, 1902, 2002	37	31
201, 401, 601, 1005, 1103, 1205, 1305, 1405, 1504	29	29
602, 702, 802, 902, 1002, 1102, 1202, 1302, 1402, 1601	28	29
502, 503, 703, 704, 903, 1003, 1103, 1203, 1303, 1403, 1503, 1703, 1903, 1901, 2003	24	29
505, 506, 706, 806, 906, 1006, 1106, 1206, 1306, 1406, 1505, 1605, 1705, 1805, 1905, 2001	31	30
402, 501, 801, 802, 1004, 1104, 1204, 1304, 1404, 1504, 1704, 1904, 2004, 2003, 2104	28	28
ALL OTHER DWELLINGS	31	28

(b) COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES

(a) ENERGY

- [illegible]

COMMON ENERGY SYSTEMS	TYPE	SPECIFICATION
CENTRAL HOT WATER SYSTEM (NO. 1)	ELECTRIC HEAT PUMP - GAS BOOSTED	PIPING INSULATION (MECHANICAL BUFFER HEATER): 25 PIPING MATERIAL TO HOT DRAWS NO 4 - 25mm
LIFT NO.1	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT NO.2	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: 24
LIFT NO.3	GEARLESS TRACTION WITH VVVF MOTOR	NUMBER OF LEVELS INCLUDING BASEMENT: [illegible]

REV	DATE	DESCRIPTION	BY (DRAWN/APD)	CK (CHECKED/APD)
3	09.07.14	LEC APPEAL - AMENDED	AC	ND
02	01.07.14	LEC APPEAL	CK	ND
1	13.11.13	ISSUE FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT
DICKSON ROTHSCHILD — PHONE 02 9267 0970

PROJECT MANAGER
CADENCE — PHONE 02 9557 8866

STRUCTURAL ENGINEER
BG&E — PHONE 02 9770 3300

HYDRAULIC ENGINEER
HARRIS PAGE & ASSOCIATES — PHONE 02 9262 1600

MECHANICAL & ELECTRICAL ENGINEER
FLOTH — PHONE 02 9419 4100

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — CLIENT 02 9252 1111

DRAWING
GENERAL FLOOR PLAN
LEVEL 18

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-211A	3
SCALE @ A1	DATE	DRAWN/CHECKED
1:100	01.07.14	CK/ND

ISSUE
DEVELOPMENT APPLICATION

Dickson Rothschild
DR Design(NSW)Pty Ltd

7 Argyle Place
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Phone +61 2 9252 2215
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www.dicksonrothschild.com.au
Nominated Architect
Robert Nigel Dickson
Registration No: 5364

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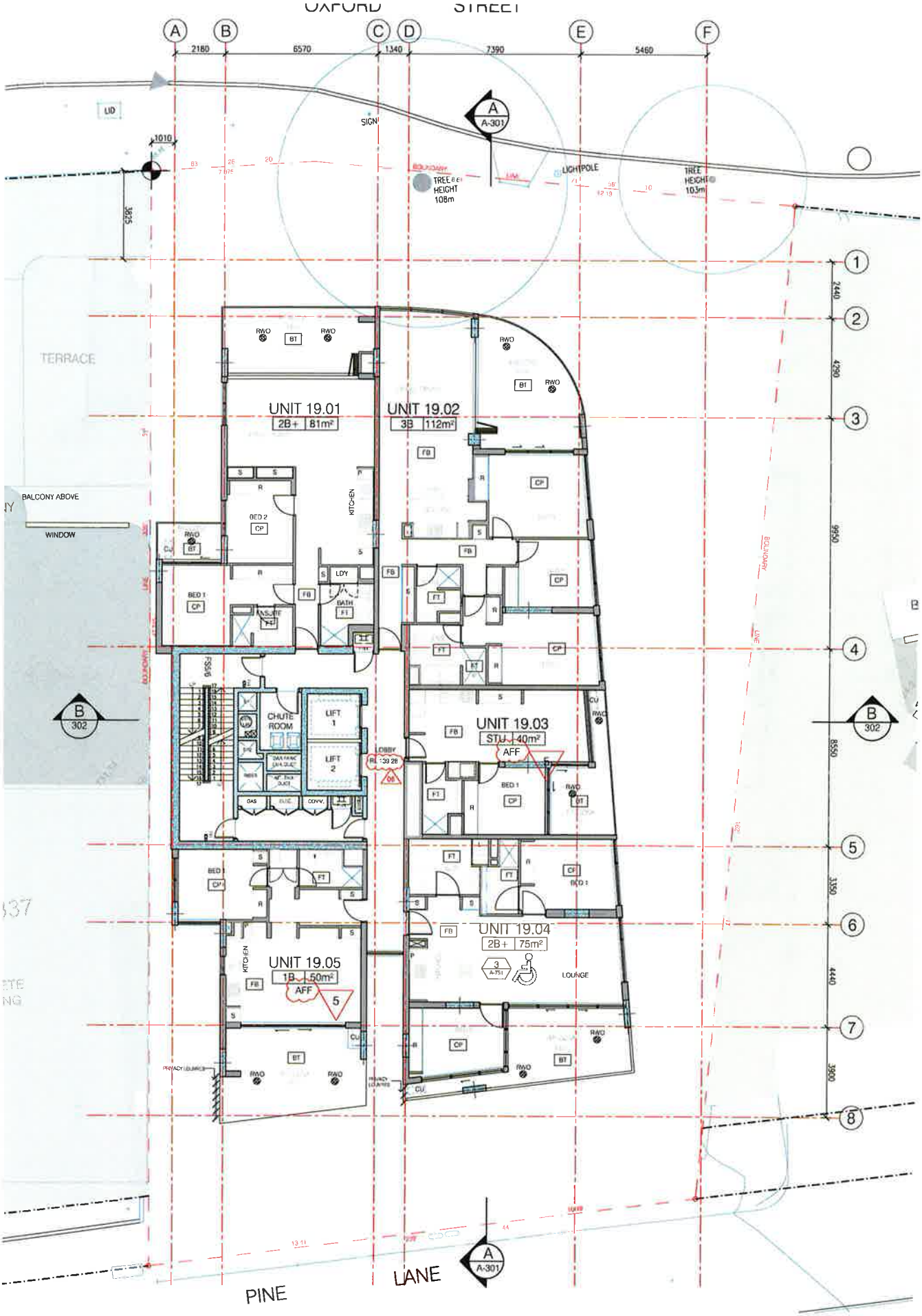

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ndickson@dicksonrothschild.com.au
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Nominated Architect: Robert Nigel Dickson
Registration No: 5364

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REV	DATE	DESCRIPTION	DRN	CK APD
6	09.07.14	LEC APPEAL - AMENDED	AC	ND
5	04.07.14	LEC APPEAL - AMENDED	AC	ND
4	02.07.14	LEC APPEAL - UNIT ANNOTATIONS MODIFIED	AC	ND
3	01.07.14	LEC APPEAL	AC	ND
2	01.07.14	LEC APPEAL	AC	ND
1	15.11.13	ISSUED FOR DA	AC	ND

N

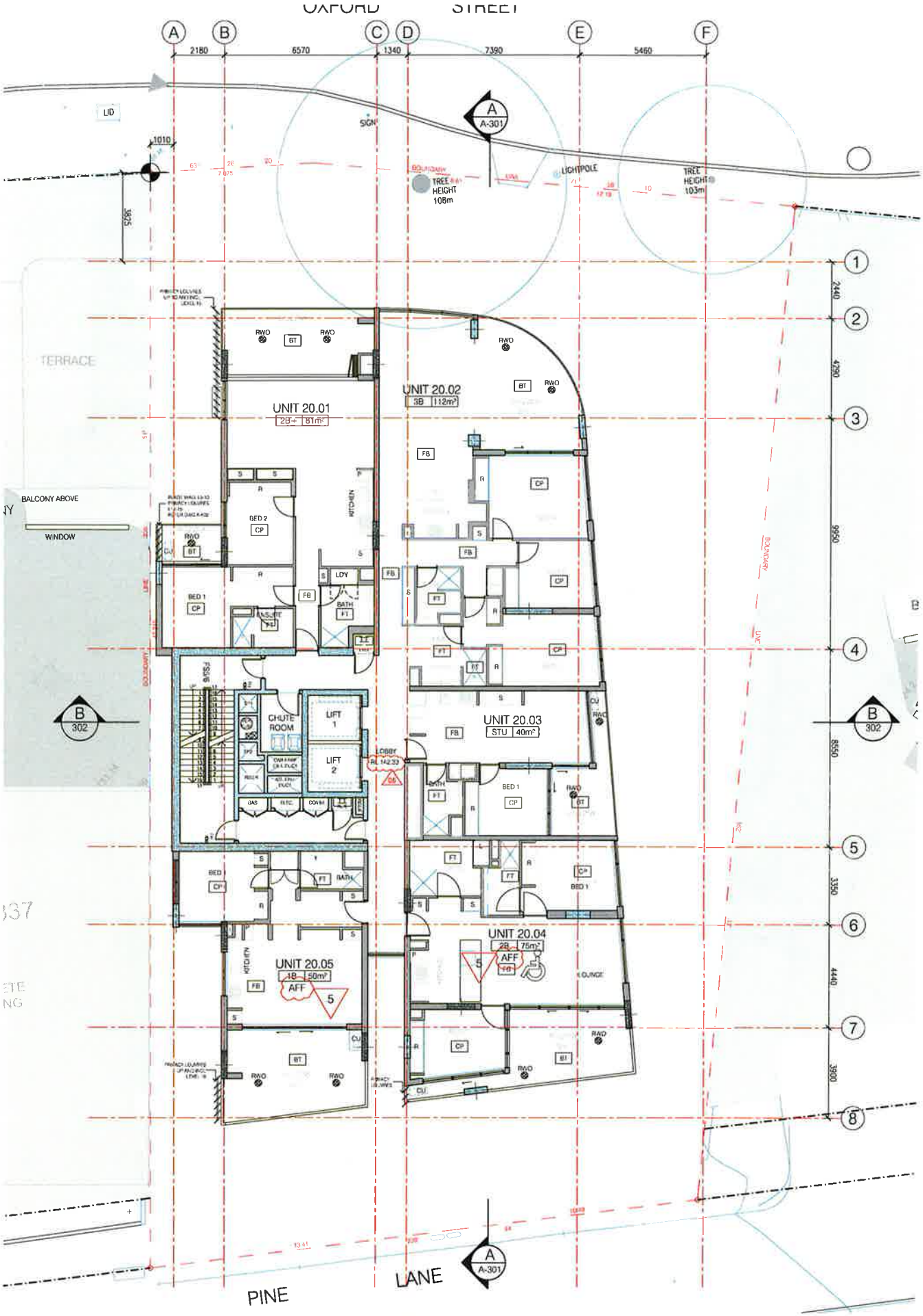
PROJECT
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

DRAWING
LEVEL 19 PLAN

CLIENT
LEGACY PROPERTY

ISSUE
LEC 10195 OF 2014

PROJECT NO	DRAWING NO	REVISION
12-133	DA-212	6
SCALE (@ A1) 1:150	DATE 25.06.14	DRAWN / CHECKED AC/ND



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Nominated Architect: Robert Nigel Dickson
Registration No: 5364

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REV	DATE	DESCRIPTION	DRN	CH APPD
6	09.07.14	LEC APPEAL - AMENDED	AC	ND
5	04.07.14	LEC APPEAL - AMENDED	AC	ND
4	02.07.14	LEC APPEAL - UNIT ANNOTATIONS MODIFIED	AC	ND
3	01.07.14	LEC APPEAL	AC	ND
2	31.06.14	LEC APPEAL	AC	ND
1	15.11.13	ISSUE FOR DA	AC	ND

N

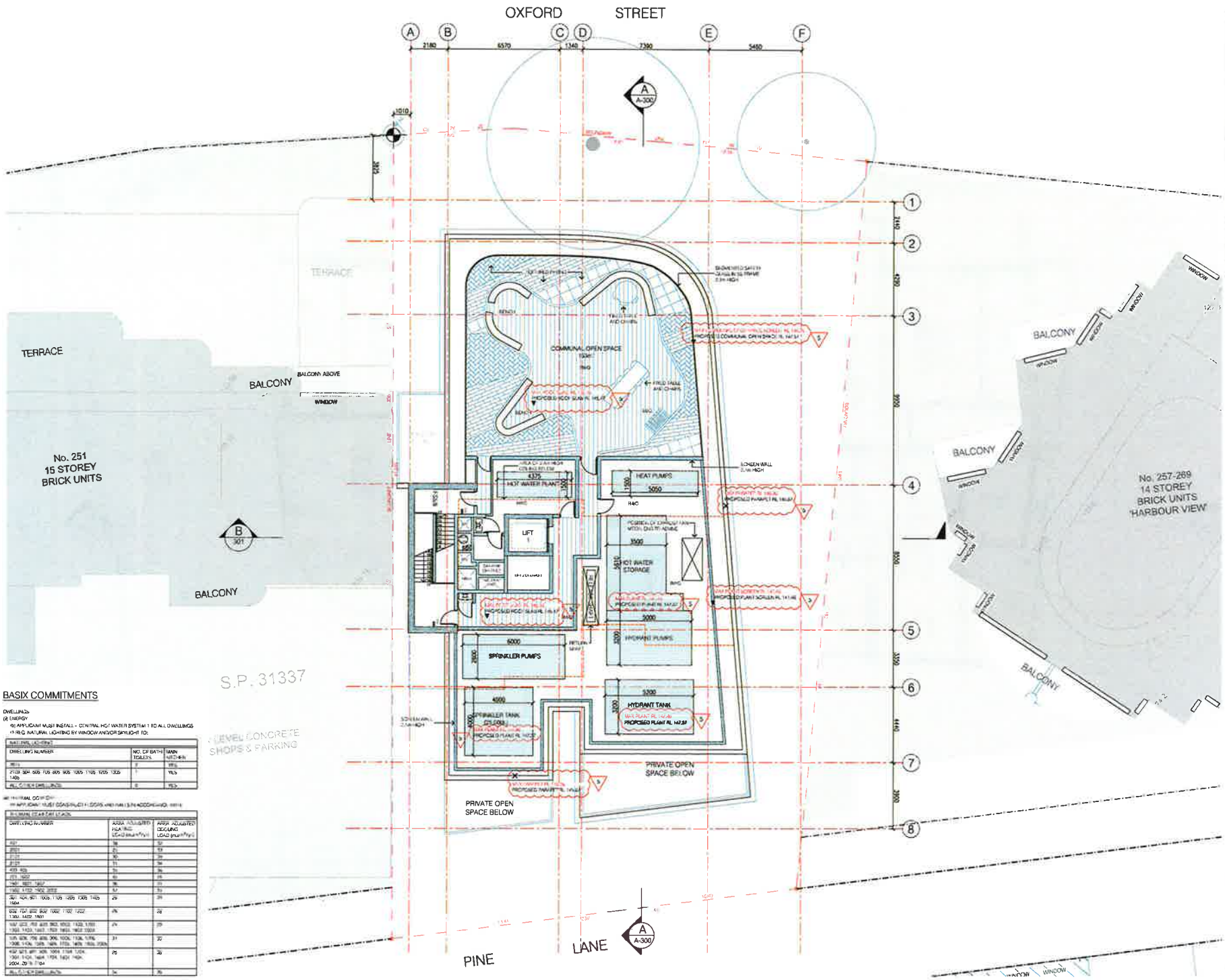
PROJECT
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

DRAWING
LEVEL 20

CLIENT
LEGACY PROPERTY

ISSUE
LEC 10195 OF 2014

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-213	6
SCALE @ A3	DATE	DRAWN / CHECKED
1:150	25.06.14	AC/ND



BASIX COMMITMENTS

DWELLINGS

(a) ENERGY

(b) APPLICANT MUST INSTALL - CENTRAL HOT WATER SYSTEM 1 TO ALL DWELLINGS

(c) REQ. NATURAL LIGHTING BY WINDOW AND/OR SKYLIGHT TO:

DWELLING NUMBER	NO. OF BATHROOMS	MAIN KITCHEN
1001	2	YES
2103 504 505 705 805 905 1005 1105 1205 1305 1405	1	YES
ALL OTHER DWELLINGS	0	YES

(d) THERMAL COMFORT

(e) APPLICANT MUST COMPLY WITH THE ENERGY SUMMARY ACCORDING TO

DWELLING NUMBER	AREA ADJUSTED HEATING LOAD (MJ/m²/yr)	AREA ADJUSTED COOLING LOAD (MJ/m²/yr)
101	38	32
2101	21	33
2102	30	34
2103	31	34
403 405	31	36
203 1602	60	25
1401 1601 1602	36	33
1102 1103 1202 1203	37	31
301 401 501 601 701 801 901 1001 1101 1201 1301 1401 1501	29	31
602 702 802 902 1002 1102 1202 1302 1402 1501	26	28
102 203 302 403 503 603 703 803 903 1003 1103 1203 1303 1403 1503 1603 1703 1803 1903 2003	24	29
104 204 304 404 504 604 704 804 904 1004 1104 1204 1304 1404 1504 1604 1704 1804 1904 2004	31	30
402 501 601 701 801 901 1001 1101 1201 1301 1401 1501 1601 1701 1801 1901 2001 2101 2201 2301 2401	26	29
ALL OTHER DWELLINGS	34	29

5	08.07.14	LEC APPEAL - AMENDED	AC	ND
4	04.07.14	LEC APPEAL - AMENDED	AC	ND
3	02.07.14	LEC APPEAL - DIMENSIONS AND	AC	ND
		MINOR ALTERATIONS AND ADDITIONS TO PLANT AREAS		
2	01.07.14	LEC APPEAL	FC	NJ
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND
REV	DATE	DESCRIPTION	CH DRAWN	CH CHECKED

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
HYDRAULIC ENGINEER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
HAZMAT DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
GENERAL FLOOR PLAN
ROOF PLAN

PROJECT NO	DRAWING NO	REVISION
12-133	DA-214	5
SCALE @ A1	DATE	DRAWN / CHECKED
1:200	24.10.13	AC/ND

STATUS
DEVELOPMENT APPLICATION

Dickson Rothschild
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Nominated Architect:
Robert Nigel Dickson
Registration No: 5364

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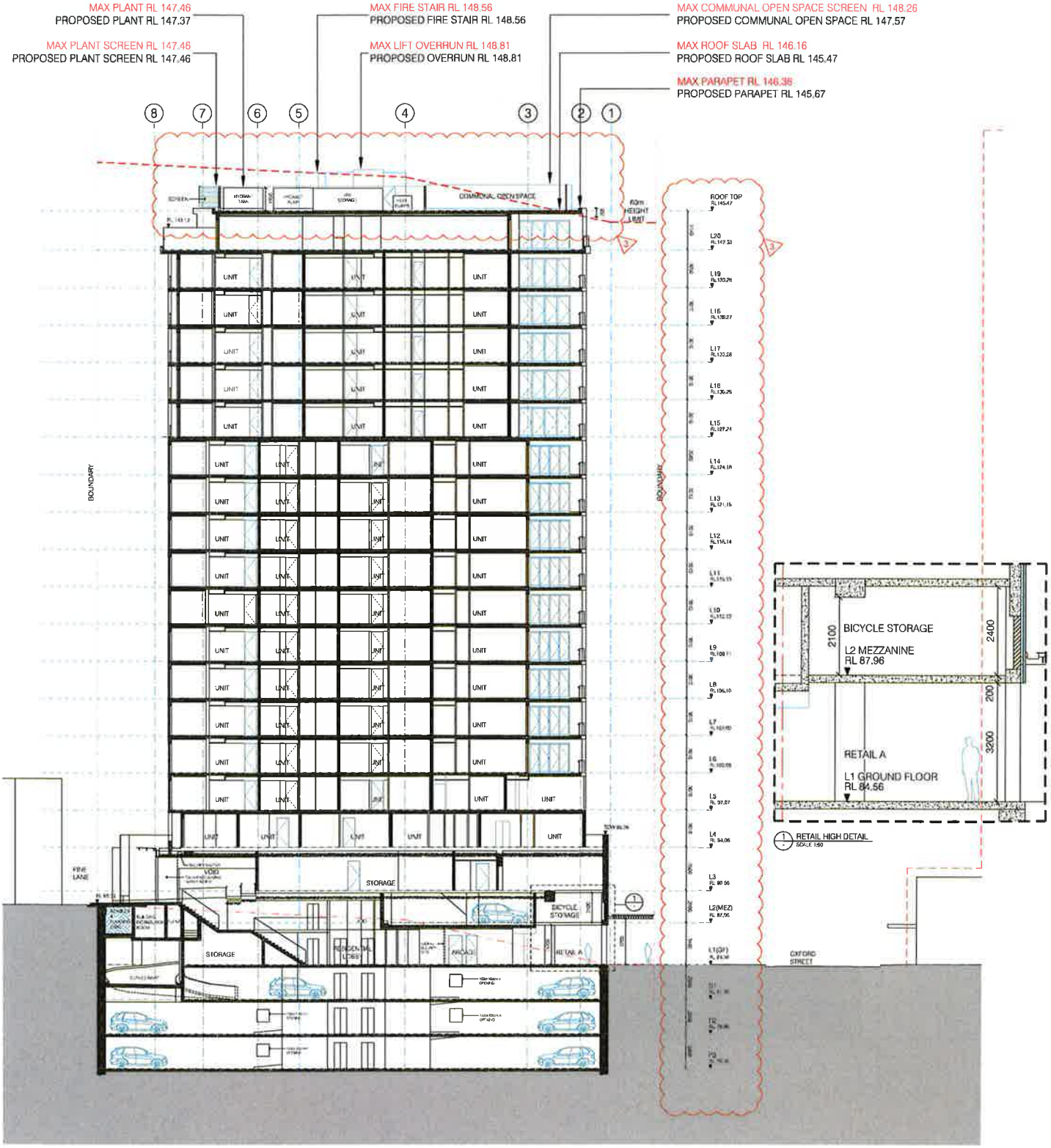
0 2.5 5 7.5
1 : 200



ARCHITECT
DICKSON ROTHSCHILD
PHONE 02 9252 2215
ACOUSTIC
MECONE
PHONE 02 8667 8668
SURVEYOR
SLURVCHECK
PHONE 02 9361 3259
ACCESS
TTPA CONSULTANT
PHONE 02 8411 5660
STRUCTURAL ENGINEER
BG&E
PHONE 02 9770 3000
HYDRAULIC ENGINEER
MCKENZIE & ASSOCIATES
PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER
FLOTH
PHONE 02 9419 4100
BASIX
DAMIAN O'TOOLE
PHONE 02 9690 0494
ACCESS
EIS
PHONE 02 9698 5000
LANDSCAPE ARCHITECT
SITE IMAGE
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ARBORIST
TREE IQ
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ACCESS
STEVE WATSON & PARTNERS
PHONE 02 9283 6555
WIND ENGINEER
WINDTECH
PHONE 02 9487 0722
ACCESS CONSULTANT
ACCESS O'LIS
PHONE 02 8399 9000

REV	DATE	DESCRIPTION	CHK	APP
3	04.07.14	S.E.P.P. REVISED	AC	MD
2	22.07.14	S.E.P.P. INITIAL	AC	MD
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	MD

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Nicholas Vogel Dickson
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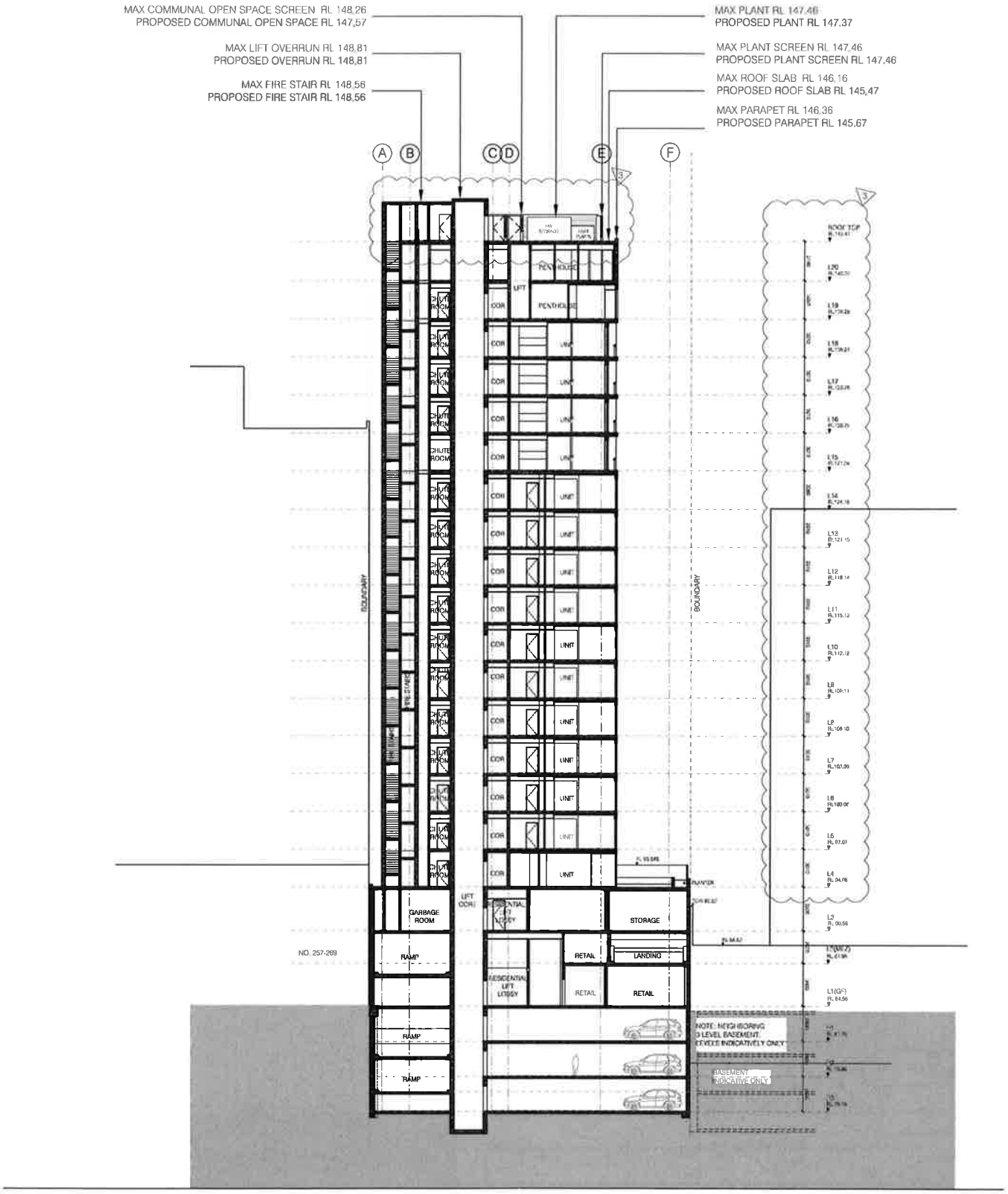
PROJECT NO. 12-133
DRAWING NO. DA-300
REVISION 3
SCALE 1:300
DATE 31.06.14
DRAWN AC/ND
DEVELOPMENT APPLICATION

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY
PHONE 02 9252 1111

DRAWING
SECTION AA



No.	DATE	DESCRIPTION	CK	DRAWN BY
3	09.07.14	S96 APPEAL - AMENDED	AC	VG
2	01.02.14	S96 APPEAL	CK	VG
1	15.11.13	S96 APPEAL - AMENDED	AC	VG

PROJECTS:
DICKSON ROTHSCHILD PHONE: 02 9252 2215
PLANNER PHONE: 02 8667 8668
MECONE PHONE: 02 9231 9033
SURVEYOR SURVEYCHECK PHONE: 02 9661 3929
TRAFFIC CONSULTANT TTPA PHONE: 02 9411 5660
STRUCTURAL ENGINEER BCA&E PHONE: 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES PHONE: 02 9252 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH PHONE: 02 9419 4100
WASP DAMIAN O'TOOLE PHONE: 02 9690 0164
CIVIL INFRASTRUCTURE ELD PHONE: 02 9498 5000
LANDSCAPE ARCHITECT SITE IMAGE PHONE: 02 8332 5603
ARBORIST TREE IQ PHONE: 0404 424 264
WASTE STEVE WATSON & PARTNERS PHONE: 02 9283 6555
WIND HEIGHT LIMITY WIND TECH PHONE: 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC PHONE: 02 8339 6000

PROJECT:
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT: LEGACY PROPERTY PHONE: 02 9252 1111

DRAWING:
SECTION BB

PROJECT NO.: 12-133
DRAWING NO.: DA-301
REVISION: 3
SCALE @ A1: 1:300
DATE: 24.10.13
DRAWN / CHECKED: AC/ND
ISSUE: DEVELOPMENT APPLICATION

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Nominated Architect: Richard Rothschild
Registration No: 3364

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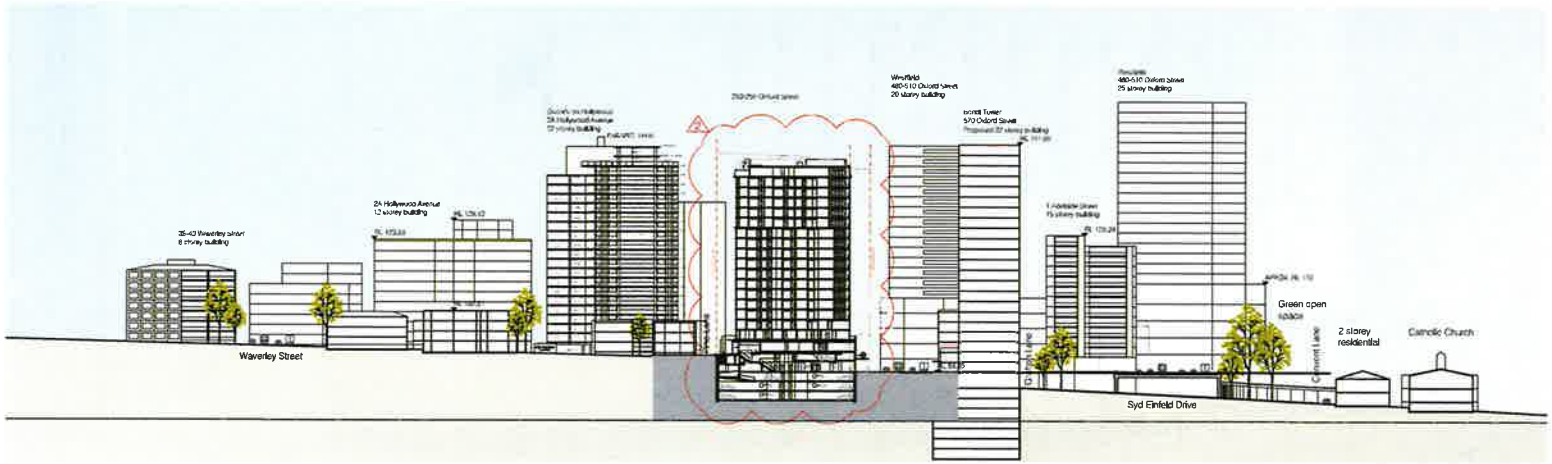
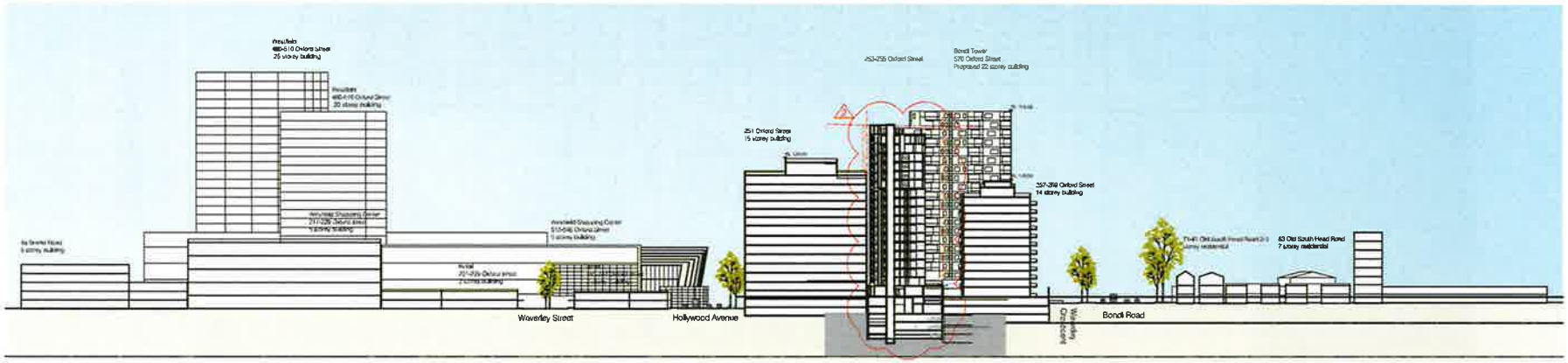


1 LONGITUNAL SECTION CC
SCALE 1:750



2 LONGITUNAL SECTION DD
SCALE 1:750

2	26.07.14	LEC APPEAL	KR	ND
1	15.11.13	ISSUED FOR SHIRE DRAFT APPLICATION	AC	ND
REV	DATE	DESCRIPTION	DR DRAWN	CHK APPD

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN OTOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
CONTEXT SITE SECTION CC & DD

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-302	2
SCALE (A3)	DATE	DRAWN / CHECKED
1:1500	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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4	05.07.14	DA APPROVAL	KH	ND
3	01.07.14	DA APPROVAL	CK	ND
2	01.07.14	DA APPROVAL	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	KH	ND
REV	DATE	DESCRIPTION	DR	CHKD/APPD

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MCCONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9651 3529
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9660 0464
DEMOLITION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 9332 9603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REPLICTIONS WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
ELEVATION NORTH

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-400	4
SCALE @ A3	DATE	DRAWN / CHECKED
1:300	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Registration 6361

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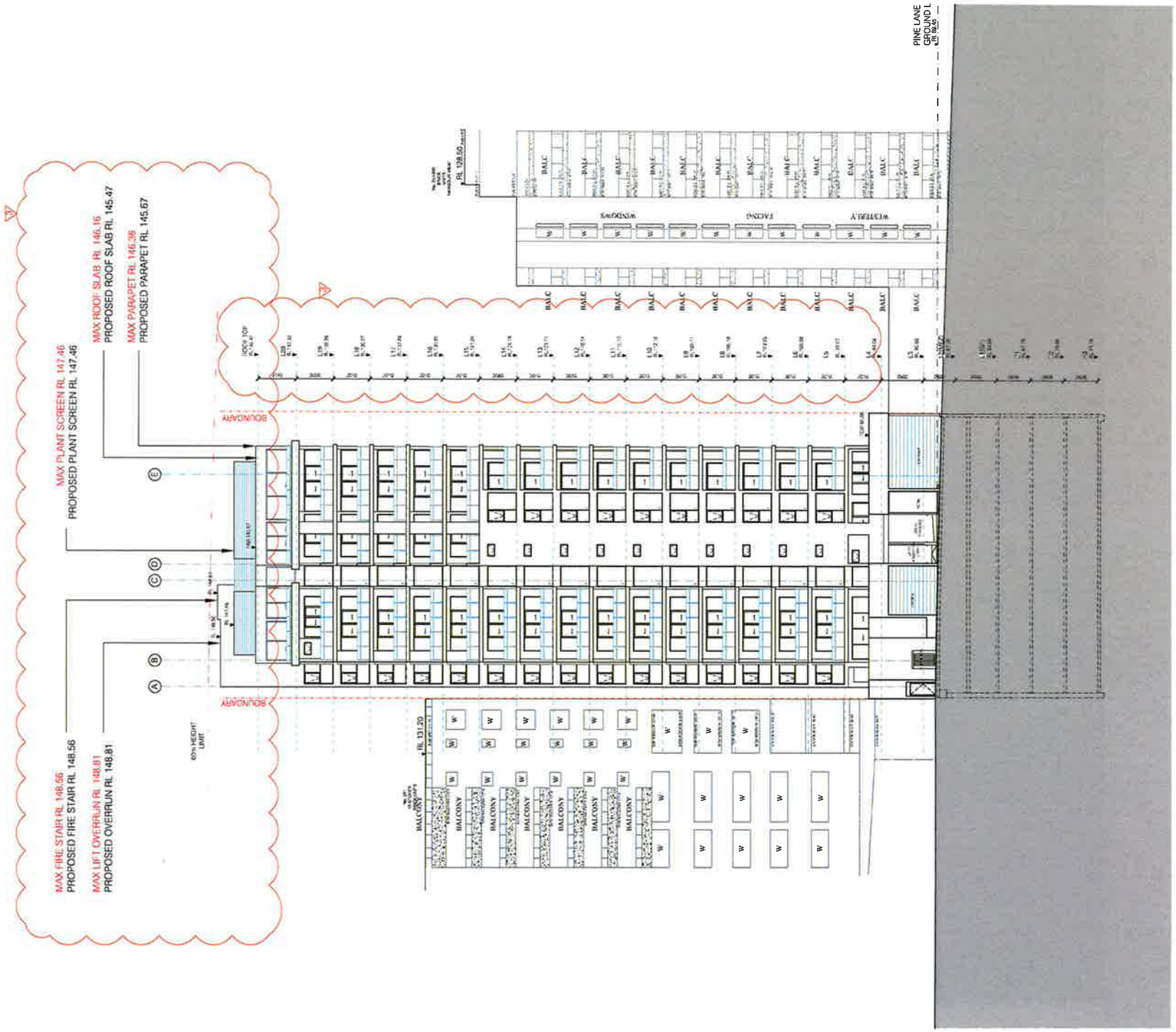

REV	DATE	DESCRIPTION	DR	CHECKED
3	03.27.14	DRAFT	KH	NJ
2	01.27.14	DRAFT	DK	NG
1	15.11.13	DS ED FOR DEVELOPMENT APPLICATION	KH	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8658
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9868 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND REFLECTIVITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
ELEVATION SOUTH

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-401	3
SCALE @ A3	DATE	DRAWN / CHECKED
1:300	24.10.13	KR/ND

ISSUE
DEVELOPMENT APPLICATION

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Nominated Architect
Robert Nigel Dickson
Registration No: 5364

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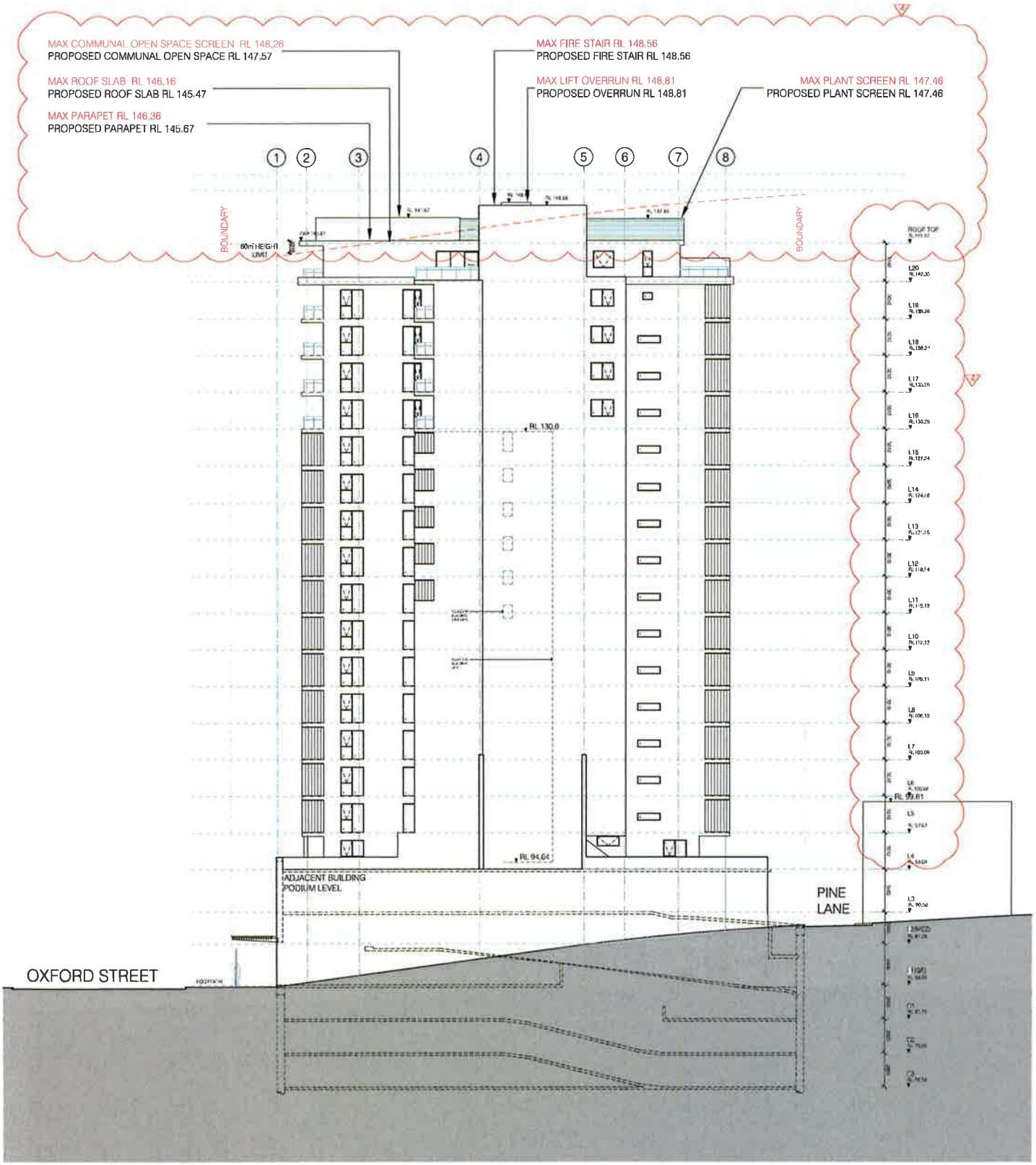

ARCHITECT	
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PROJECT MANAGER	
MECONE	PHONE 02 6867 6668
SURVEYOR	
SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT	
TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER	
BGSE	PHONE 02 9770 3300
HYDRAULIC CONSULTANT	
HARRIS PAGET & ASSOCIATES	PHONE 03 9867 1600
MECHANICAL & ELECTRICAL ENGINEER	
FLOTH	PHONE 02 9419 4100
BASIX	
DAMIAN O'TOOLE	PHONE 07 3890 0464
CONTAMINATION	
EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT	
SITE IMAGE	PHONE 02 8532 9603
ARBORIST	
TREE IQ	PHONE 0404 424 254
BCA	
STEVE WATSON & PARTNERS	PHONE 02 9283 6535
WASTE CONSULTANT	
WINDTECH	PHONE 02 9667 0722
ACOUSTIC CONSULTANT	
ACOUSTIC LOGIC	PHONE 02 8339 8000

No.	Date	Description	Drawn	Checked
4	09.01.14	DA APPLN	KR	ND
3	01.01.14	DA APPLN	CK	ND
2	01.01.14	DA APPLN	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	KR	ND

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022
CLIENT PHONE
LEGACY PROPERTY 02 9252 1111

DRAWING
ELEVATION WEST

PROJECT NO. 12-133
DRAWING NO. DA-402
REVISION 4
SCALE @ A3 1:300
DATE 24.10.13
DRAWN KR/ND

DEVELOPMENT APPLICATION

Design Research Phone +61 2 9252 2215
DR Design (NSW) Pty Ltd nominated architect Richard Coutts
Level 1, 116 Kent Street, Sydney NSW 2000 nominated architect Richard Coutts
Millers Point, NSW 2000 Australia Registration No. 3264
ABN: 38 137 749 749

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3	09.07.14	LEC APPEAL	KR	ND
2	21.2.14	LEC APPEAL	CK	ND
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	KR	ND
REV	DATE	DESCRIPTION	CHK	DRAWN

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVEYSECK	PHONE 02 9661 3929
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STRUCTURAL ENGINEER BGAE	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BCA DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION BS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WINDTUNNEL STUDY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT
LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
ELEVATION EAST

PROJECT NO	DRAWING NO	REVISION
12-133	DA-403	3
SCALE @ A3	DATE	DRAWN / CHECKED
1:300	24.10.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

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Australia
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www.dicksonrothschildDR.com.au
Nominated Architect:
Robert Mayer (Director)
Registration No: 5361

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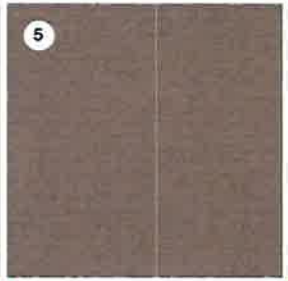
SCHEDULE OF EXTERNAL MATERIALS AND FINISHES

	ELEVATION CODE	ELEMENT	MATERIAL	FINISH
EXTERNAL FLOOR				
1	FP-01	PUBLIC DOMAIN PAVING	CONCRETE PAVER	GOLDEN GUNMETAL AS PER WAVERLEY COUNCIL'S "PUBLIC DOMAIN TECHNICAL MANUAL - BONDI JUNCTION CENTRE."
WALL				
2	S-01	PODIUM FACADE WALL	SANDSTONE WALL	SANDSTONE 75mm THICK WALL (400 X 1000) OR SIMILAR
3	MC-01	FEATURE CLADDING	ALPOLIC	ALPOLIC ("COPPER METALLIC" M7790) OR SIMILAR
4	P-01	EXTERNAL WALL	HIGH BUILD PAINT	PAINT 1 (DULUX "BRUME QUARTER" P12A1Q) OR SIMILAR
5	P-02	EXTERNAL WALL	HIGH BUILD PAINT	PAINT 2 (DULUX "BEARSUIT" P10A5) OR SIMILAR
6	P-03	BALCONY SOFFIT	PAINT	PAINT 3 (DULUX "VIVID WHITE" PN2E1) OR SIMILAR
WINDOWS AND DOORS				
7	GL-01/GL-02	GLASS	LOW E GLASS	VIRIDIAN "COMFORT PLUS NEUTRAL" OR SIMILIAR
8	PC-01	WINDOWS AND DOORS	GLASS SET IN POWDER COATED ALUMINIUM FRAME (SLIDING DOORS, AWNING WIINDOWS)	DULUX DURATEC X15 "ETERNITY NICKEL PEARL MATT" OR SIMILAR
GLAZING				
9	BAL-01	GLAZED BALUSTRADE	GLASS WITH STAINLESS STEEL HANDRAIL	VIRIDIAN - "VLAM" TRANSLUCENT OR SIMILIAR
10	-	LVL 1: GLAZED PRIVACYSCREEN	TRANSLUCENT GLASS WITH ALUMINIUM TOP RAIL	VIRIDIAN - "VLAM" TRANSLUCENT OR SIMILIAR
11	PC-02	LOUVRES SLIDING AND FIXED	POWDER COAT	DULUX DURATEC X15 - "ETERNITY TITANIUM PEARL SATIN" OR SIMILAR
12	-	GLAZED AWNING	GLAZED AWNING WITH TIMBER BATTENS	IRONBARK TIMBER BATTENS OR SIMILAR WITH TRANSPARENT GLASS AND FRIT WORK OR SIMILAR.

4



6

7

REV	DATE	DESCRIPTION	CK	DR
1	15.11.13	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9888 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND ACCESSIBILITY WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT LEGACY PROPERTY — PHONE 02 9252 1111

DRAWING
MATERIALS AND FINISHES SCHEDULE

PROJECT NO.	DRAWING NO.	REVISION
12-133	DA-730	1
SCALE @ A1	DATE	DRAWN / CHECKED
NTS	15.11.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

Dickson Rothschild
DR Design (NSW) Pty Ltd
9 Argyle Place
Millers Point NSW 2000
Australia
ABN: 76 131 237 540

Phone: +61 2 9252 2215
Nominated Architect
Robert Nigel Dickson
Registration No. 5484

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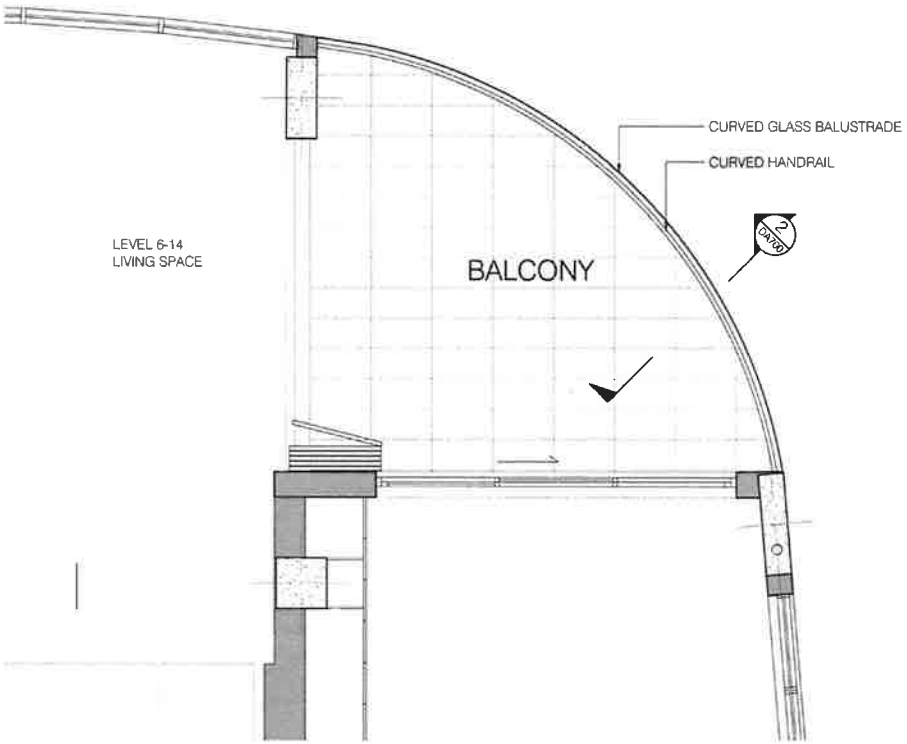
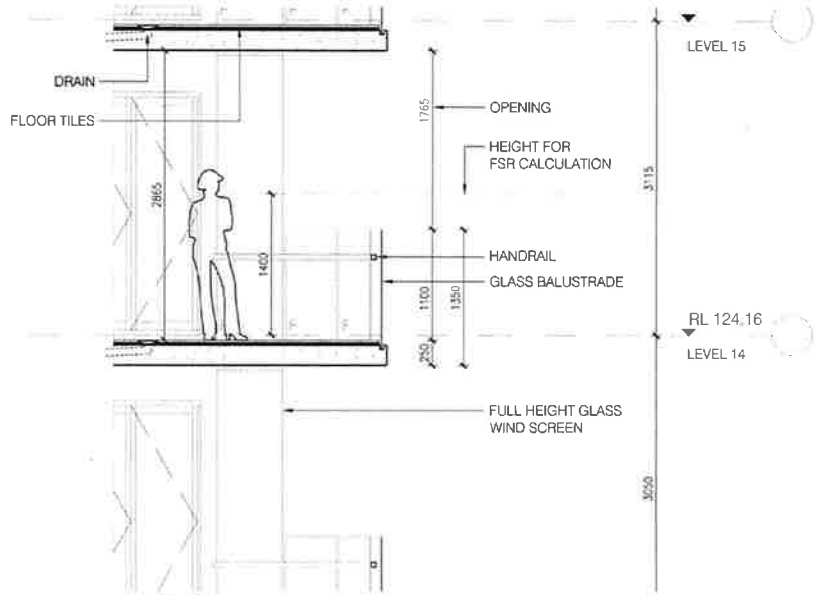
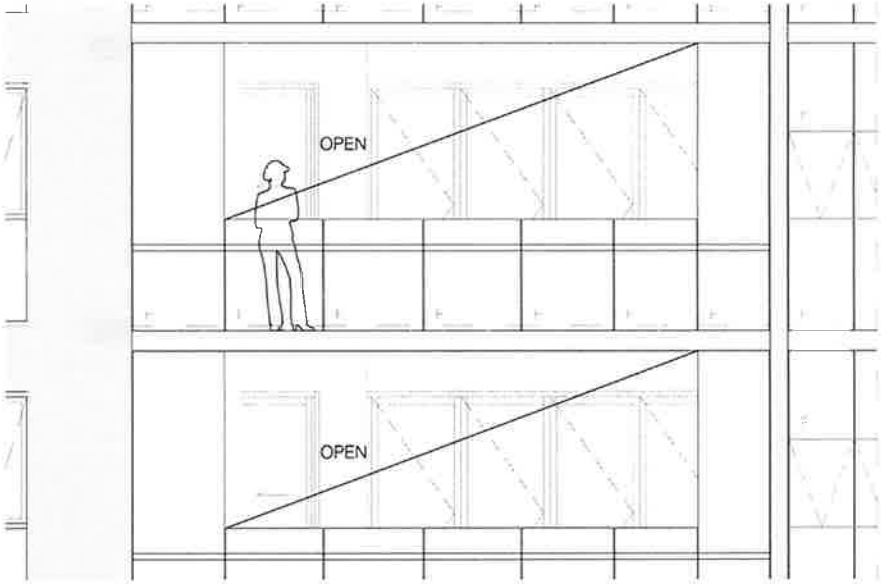


1 DA-700 LEVELS 6-14
FACADE DETAIL PLAN
SCALE 1:50



2 DA-700 LEVELS 6-14
FACADE DETAIL SECTION
SCALE 1:50



3 DA-700 LEVELS 6-14
FACADE DETAIL ELEVATION
SCALE 1:50

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Millers Point, NSW, 2000

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REV	DATE	DESCRIPTION	DRAWN	DR. APPD
2	09.07.2014	LEC APPEAL	AC	ND
1	27.02.2014	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

N

PROJECT
DEVELOPMENT APPLICATION
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

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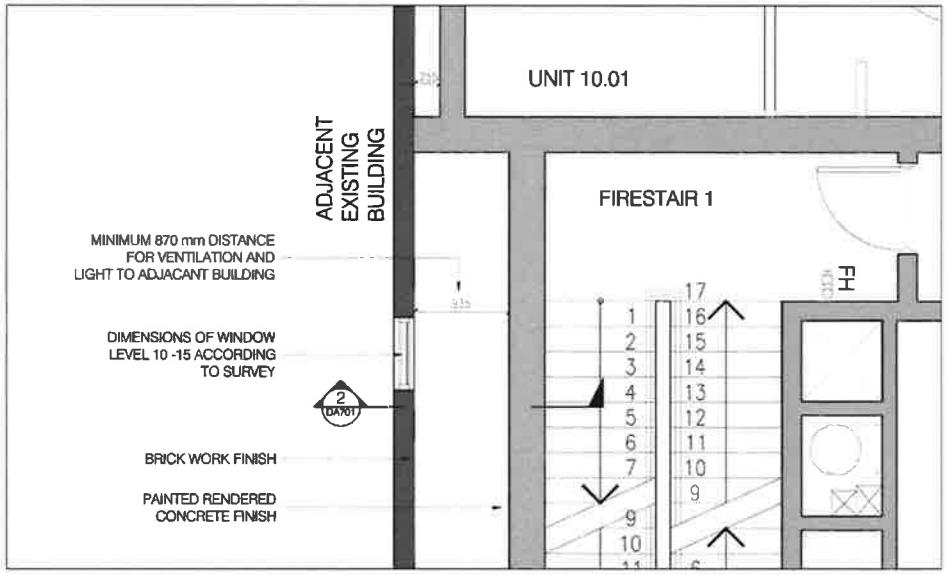
ISSUE
DEVELOPMENT APPLICATION

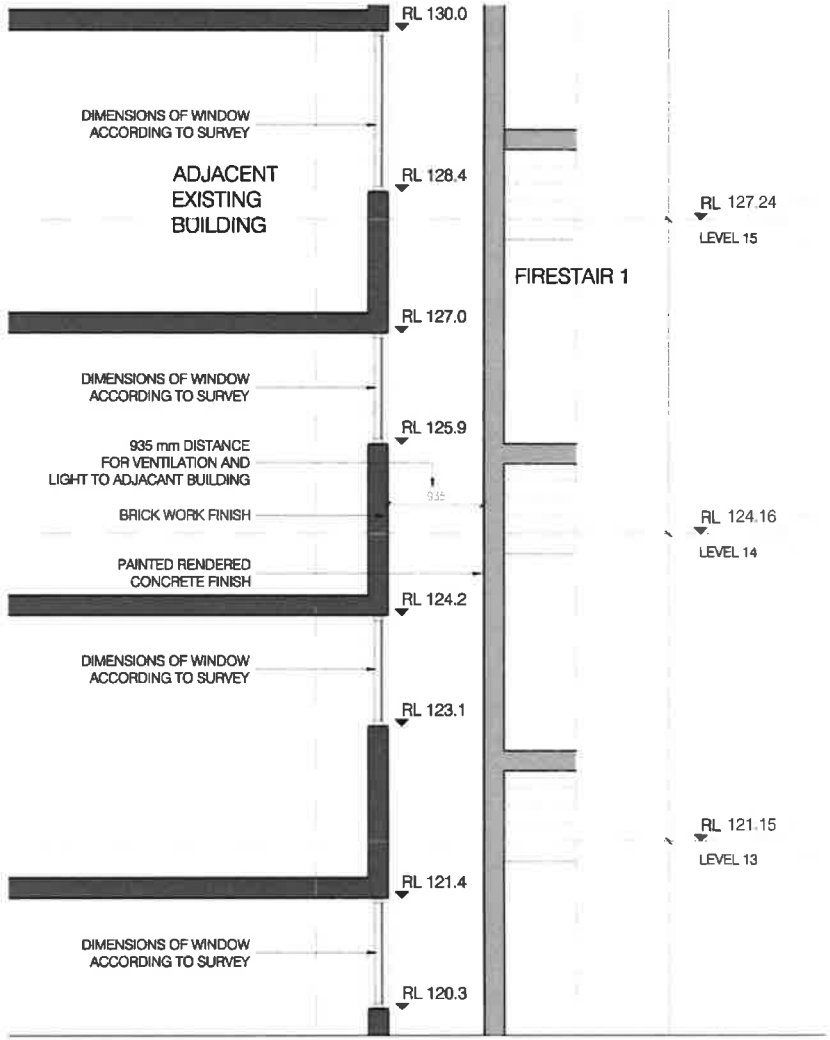
DRAWING
TYPICAL FLOOR PLAN
LEVEL 6-14
FACADE DETAIL PLAN

PROJECT NO	DRAWING NO	REVISION
12-133	DA-700	2

SCALE @ A3	DATE	DRAWN / CHECKED
1:50	27.02.14	AC/ND



1 LEVEL 10-15
ADJACENT BUILDING DETAIL PLAN
SCALE 1:50



2 LEVEL 10-15
ADJACENT BUILDING DETAIL SECTION
SCALE 1:50

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2	09.07.14	LEC APPEAL	AC	ND
1	27.02.14	ISSUED FOR DEVELOPMENT APPLICATION	SL	ND

PROJECT
DEVELOPMENT APPLICATION
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

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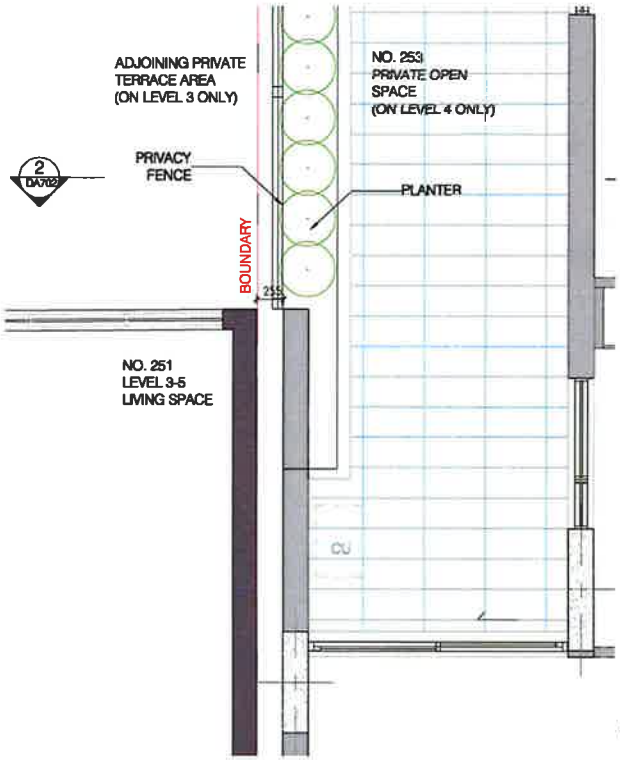
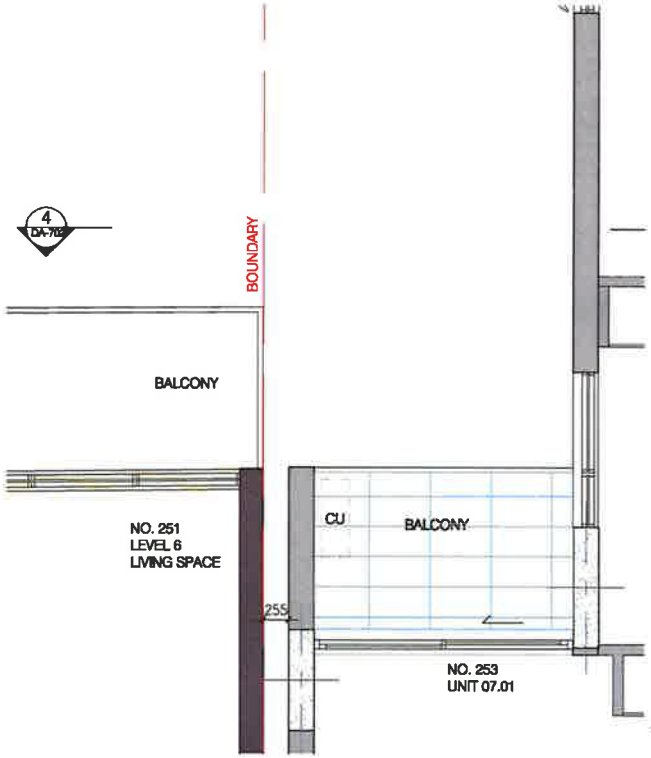
ISSUE
DEVELOPMENT APPLICATION

DRAWING
LEVELS 10-15
ADJACENT BUILDING
FACADE DETAIL

PROJECT NO	DRAWING NO	REVISION
12-133	DA-701	2
SCALE - A0	DATE	DRAWN / CHECKED
1:50	27.02.14	SL/ND

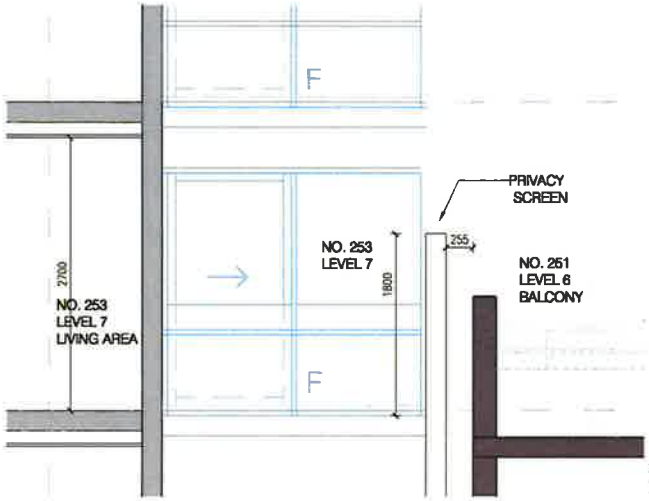


1 LEVEL 4-6 BOUNDARY DETAIL PLAN
SCALE 1:50



3 LEVEL 7 BOUNDARY DETAIL PLAN
SCALE 1:50

2 LEVEL 4-6 BOUNDARY DETAIL SECTION
SCALE 1:50



4 LEVEL 7 BOUNDARY DETAIL SECTION
SCALE 1:50

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No.	Date	Description	Drawn	Chk.
1	27.02.14	ISSUED FOR DEVELOPMENT APPLICATION	SL	ND

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PROJECT
DEVELOPMENT APPLICATION
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

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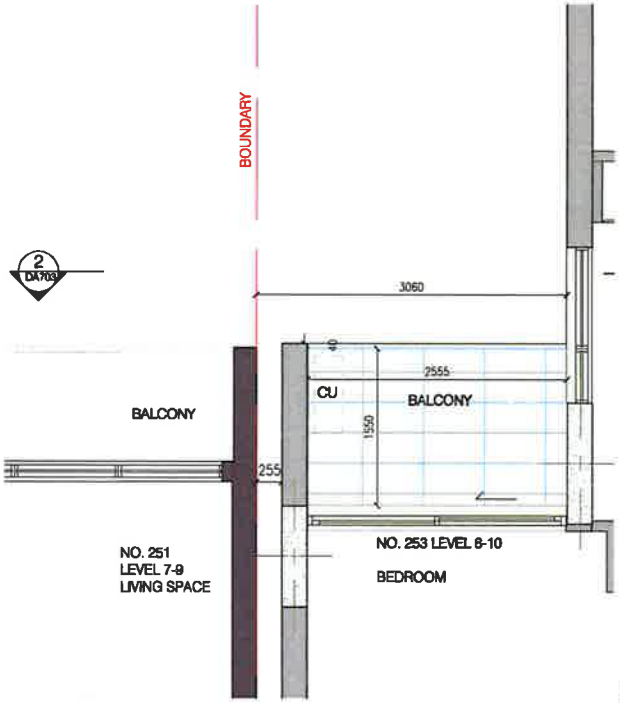
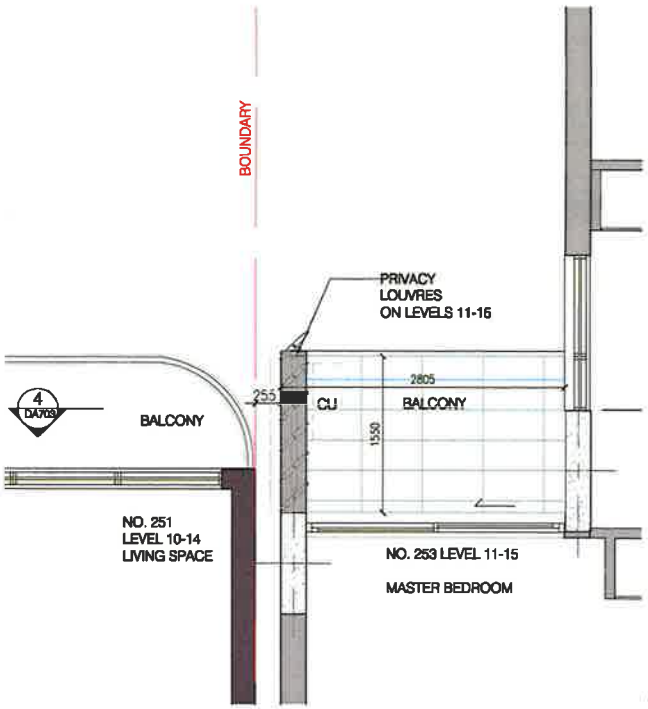
STAGE
DEVELOPMENT APPLICATION

DRAWING
LEVELS 4-7
BOUNDARY DETAIL

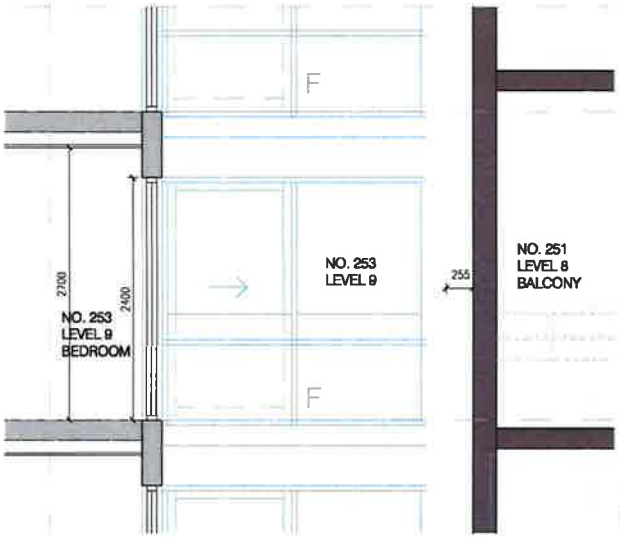
Project No.	Drawing No.	Revision
12-133	DA-702	1
Scale @ A3	Date	Drawn / Checked
1:50	27.02.14	SL/ND



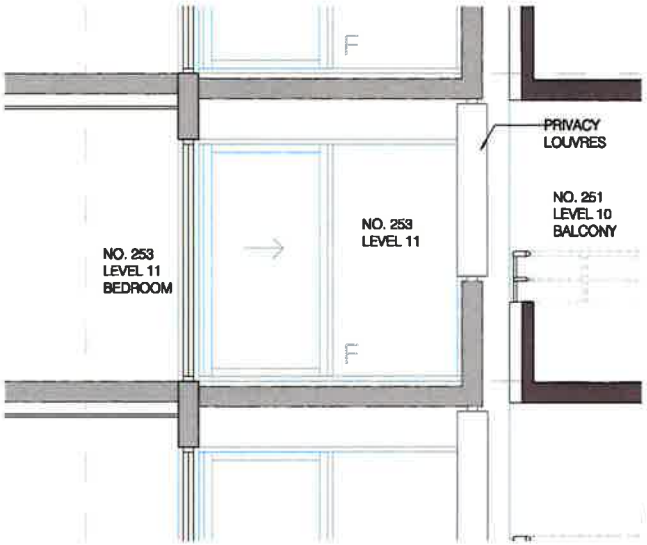
1 LEVEL 8-10
BOUNDARY DETAIL PLAN
SCALE 1:50



3 LEVEL 11-15
BOUNDARY DETAIL PLAN
SCALE 1:50



2 LEVEL 8-10
BOUNDARY DETAIL SECTION
SCALE 1:50



4 LEVEL 11-15
BOUNDARY DETAIL SECTION
SCALE 1:50

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REV	DATE	DESCRIPTION	DRAWN	CH. BY
1	27.02.14	ISSUED FOR DEVELOPMENT APPLICATION	SL	ND

PROJECT
DEVELOPMENT APPLICATION
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

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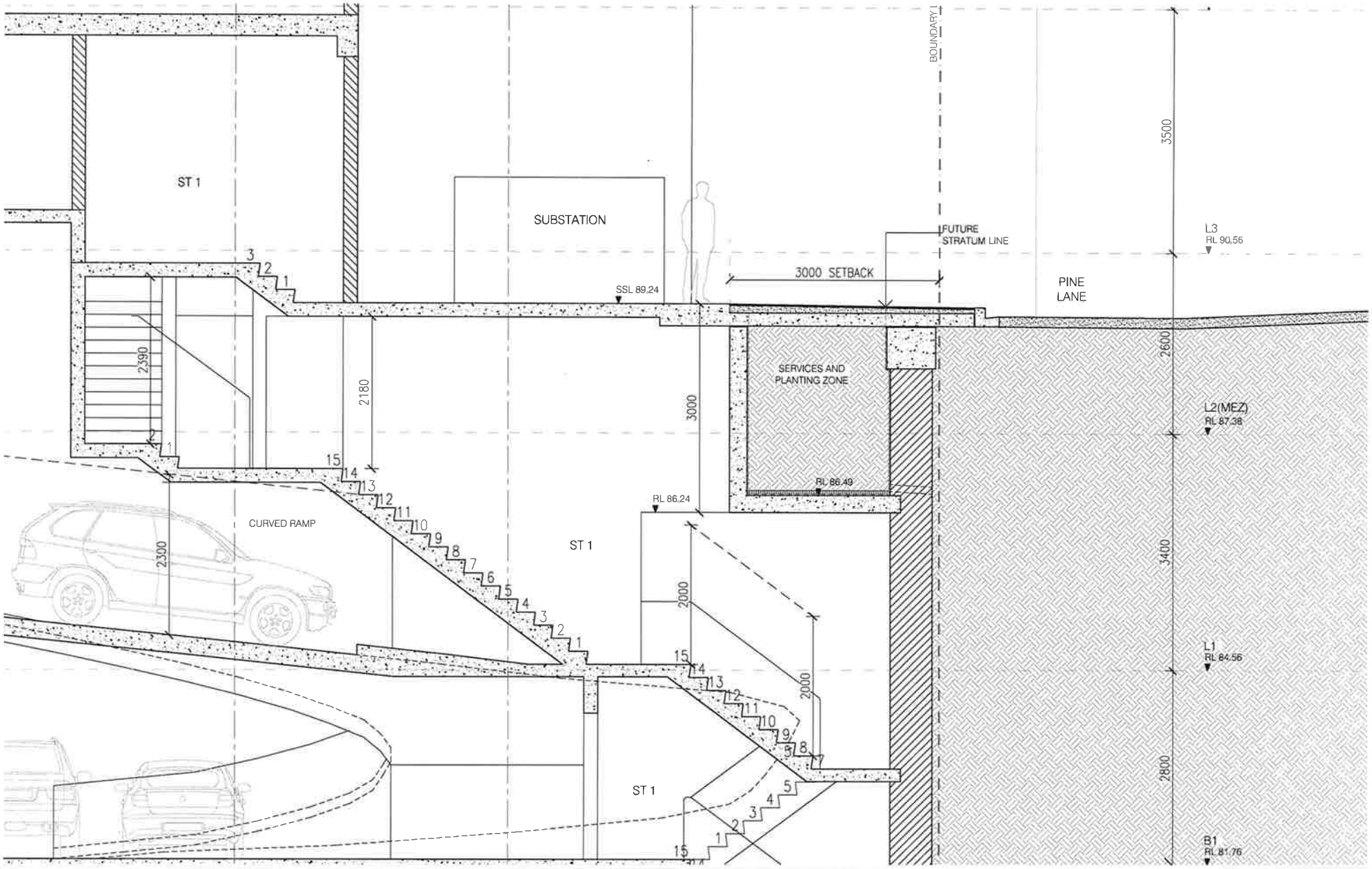
DEVELOPMENT APPLICATION

DRAWING
LEVELS 8-10 AND 11-15
BOUNDARY DETAIL

PROJECT NO	DRAWING NO	REVISION
12-133	DA-703	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:50	27.02.14	SL/ND



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REV	DATE	DESCRIPTION	DRAWN	CH. APPD
1	27.02.14	ISSUED FOR DEVELOPMENT APPLICATION	AC	ND

PROJECT
DEVELOPMENT APPLICATION
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

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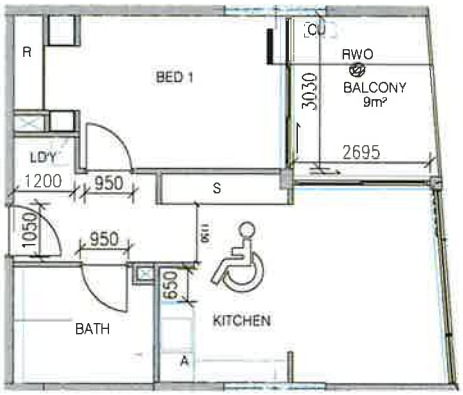
ISSUE
DEVELOPMENT APPLICATION

DRAWING
SECTION DETAIL
3m SETBACK DEDICATION

PROJECT NO	DRAWING NO	REVISION
12-133	DA-704	1
SCALE @ A2	DATE	DRAWN / CHECKED
1:50	27.02.14	AC/ND



1 PRE-ADAPTATION UNIT 6.03
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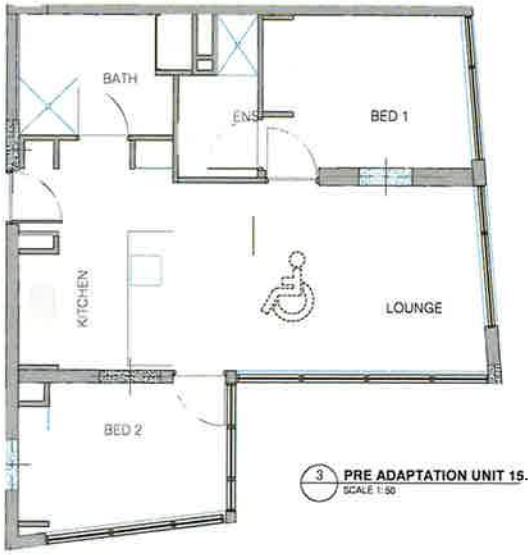
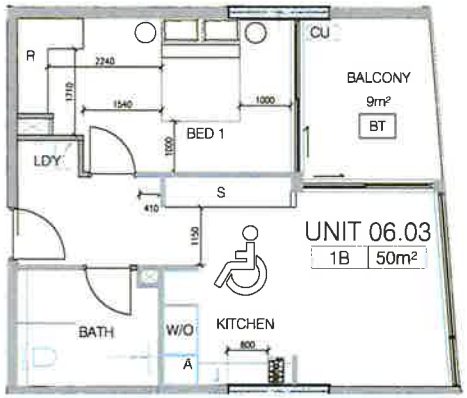


3 PRE ADAPTATION UNIT 15.04
SCALE 1:50



2 POST ADAPTATION UNIT 6.03
SCALE 1:50

4 POST ADAPTATION UNIT 15.04
SCALE 1:50

1	15 11 13	DEVELOPMENT APPLICATION	AC	ND

ARCHITECT DICKSON ROTHSCHILD	PHONE 02 9252 2215
PLANNER MECONE	PHONE 02 8667 8668
SURVEYOR SURVCHECK	PHONE 02 9661 3929
TRAFFIC CONSULTANT TTPA	PHONE 02 9411 5660
STRUCTURAL ENGINEER BG&E	PHONE 02 9770 3300
HYDRAULIC ENGINEER HARRIS PAGE & ASSOCIATES	PHONE 02 9262 1600
MECHANICAL & ELECTRICAL ENGINEER FLOTH	PHONE 02 9419 4100
BASIX DAMIAN O'TOOLE	PHONE 02 9690 0464
CONTAMINATION EIS	PHONE 02 9868 5000
LANDSCAPE ARCHITECT SITE IMAGE	PHONE 02 8332 5603
ARBORIST TREE IQ	PHONE 0404 424 264
BCA STEVE WATSON & PARTNERS	PHONE 02 9283 6555
WIND CONSULTANT WINDTECH	PHONE 02 9567 0722
ACOUSTIC CONSULTANT ACOUSTIC LOGIC	PHONE 02 8339 8000

PROJECT
MIXED USE DEVELOPMENT FOR
253-255 OXFORD STREET
BONDI JUNCTION NSW 2022

CLIENT	PHONE
LEGACY PROPERTY	02 9252 1111

DRAWING
ADAPTABLE UNITS

PROJECT NO	DRAWING NO	REVISION
12-133	DA-750	1
SCALE @ A1	DATE	DRAWN / CHECKED
1:50	15.11.13	AC/ND

ISSUE
DEVELOPMENT APPLICATION

Dickson Rothschild
DR Design(NSW)Pty Ltd
4 Argyle Place
Millers Point NSW 2000
Australia
ABN 33 124 237 240

Phone +61 2 9252 2215
nsw@dickrothschild.com.au
www.dickrothschild.com.au
Nominated Architect
Robert Nigel Dickson
Registration No 3364

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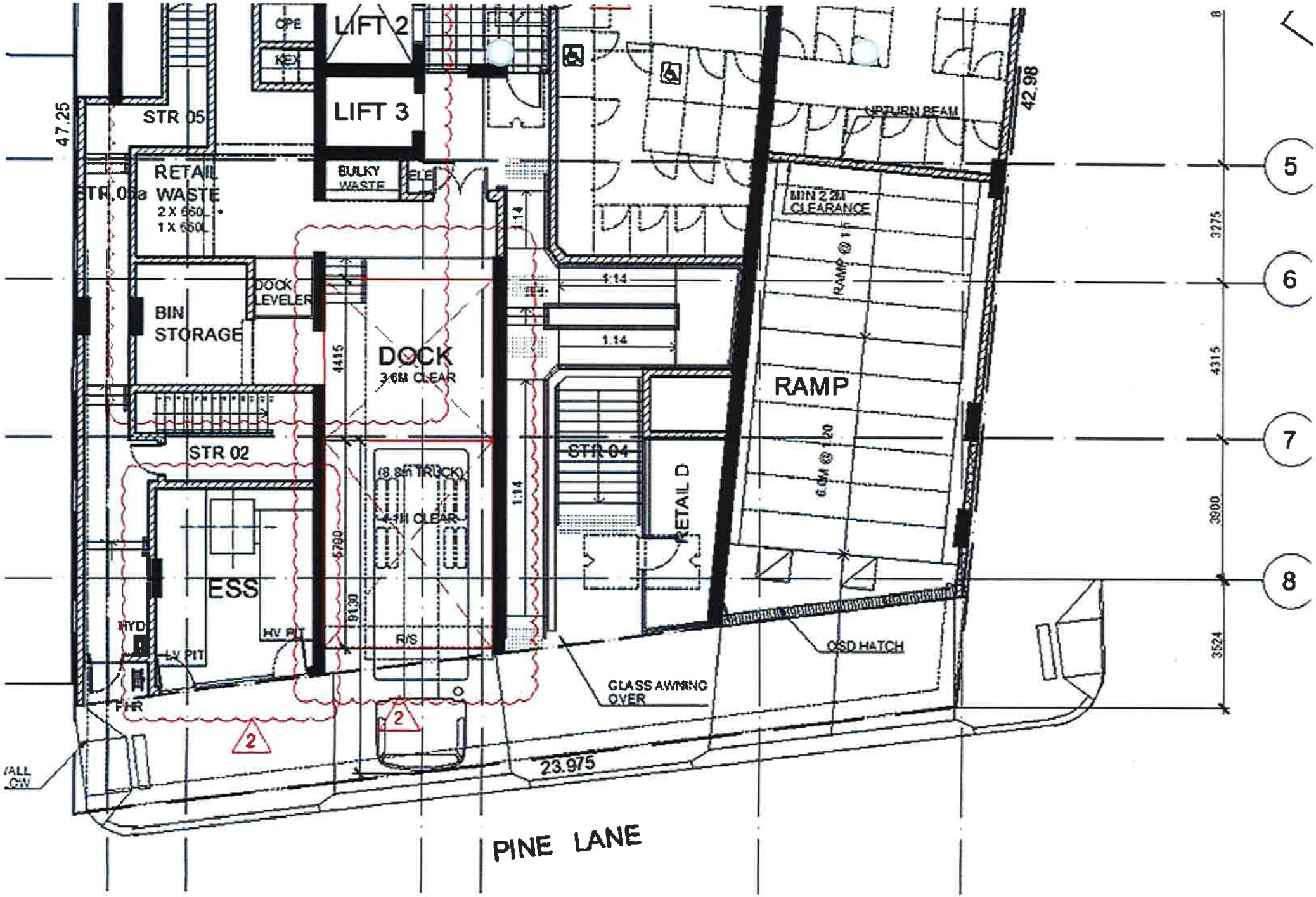
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LIFT 3
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STR 05
47.25
RETAIL WASTE
STR.05a
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1 X 660L
BULKY WASTE
ELE
BIN STORAGE
DOCK LEVELER
DOCK
3.6M CLEAR
4415
STR 02
ESS
HYD
HV PIT
LV PIT
THR
5700
91.30
(8.8m TRUCK)
4.1m CLEAR
R/S
1:14
STR 04
RETAIL D
RAMP
RAMP @ 1:6
0.6M @ 1:20
MIN 2.2M CLEARANCE
UPTURN BEAM
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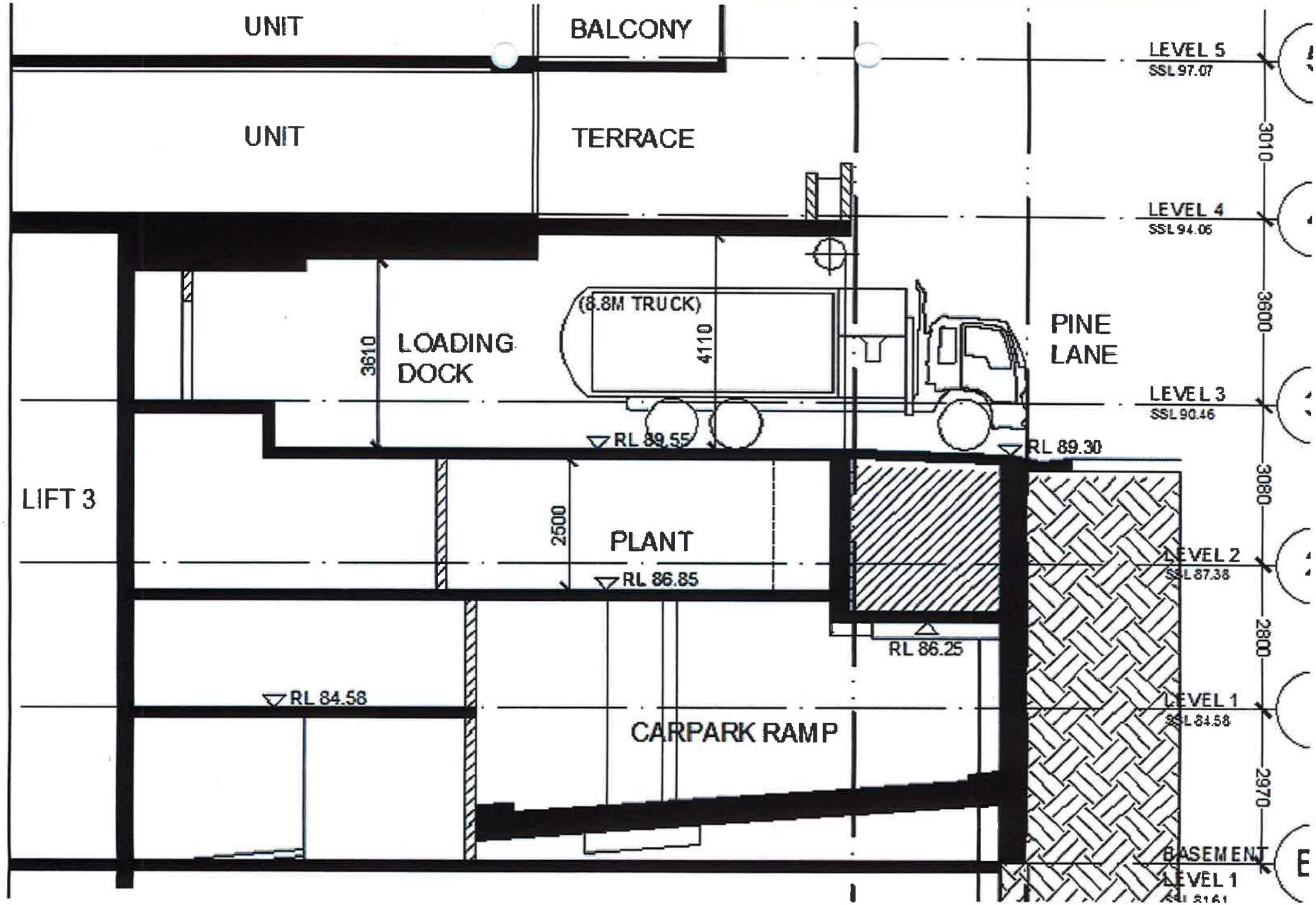
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BALCONY
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LEVEL 5
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LEVEL 4
SSL 94.06
LEVEL 3
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LEVEL 2
SSL 87.38
LEVEL 1
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BASEMENT
LEVEL 1
3010
3600
3080
2800
2970
(8.8M TRUCK)
4110
3610
LOADING
DOCK
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PLANT
RL 86.85
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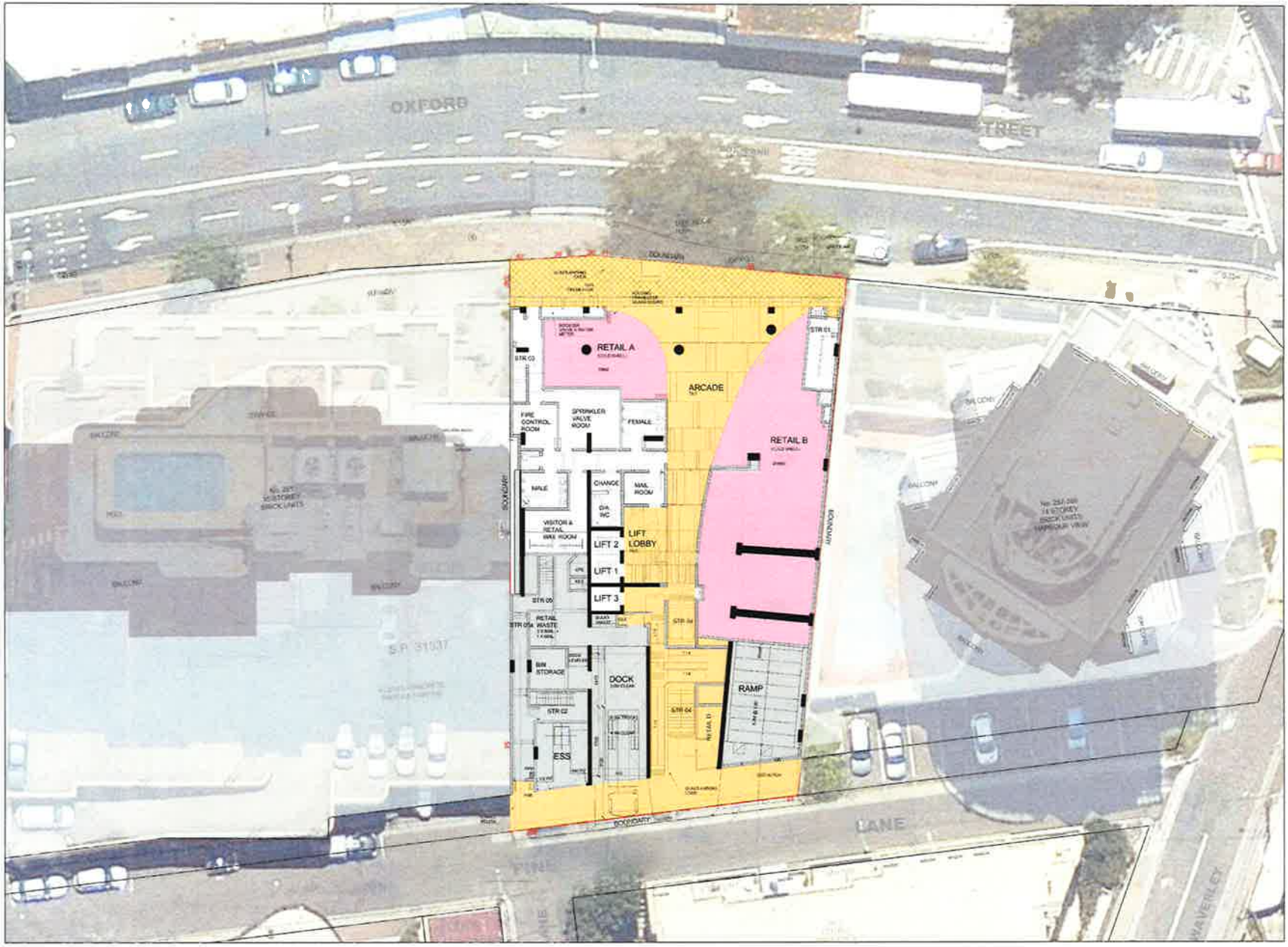

REVISIONS

R	DATE	DESCRIPTION
3	03DEC14	SECTION 96 SUBMISSION

ICON CO

ARCHITECT

mijollo INTERNATIONAL

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T 9922 1939 F 9922 7322 E office@mijollo.com
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CLIENT
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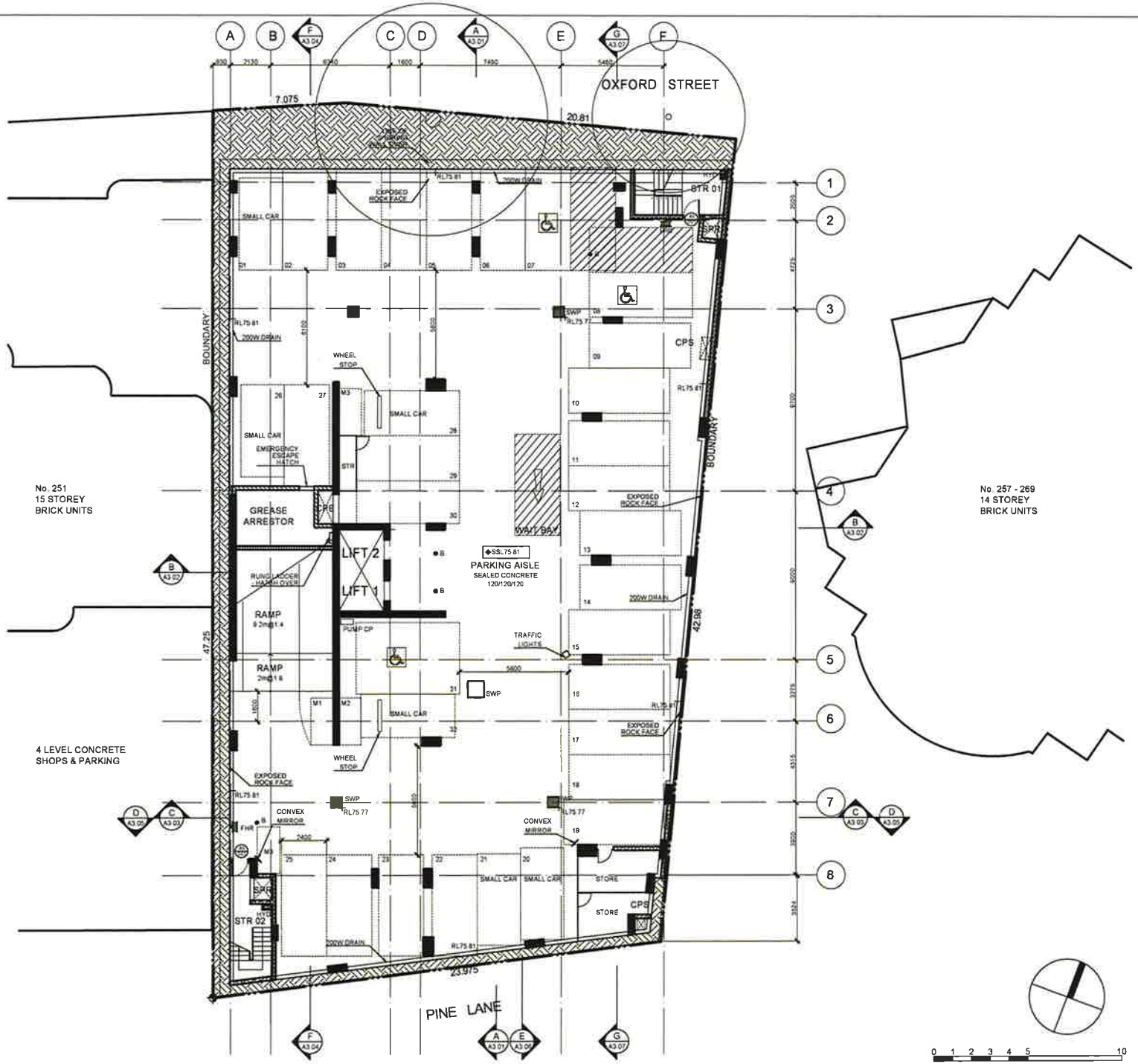
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
SITE PLAN

1241	DA101-3	1:100@A1
CONSTR N		MC



REVISIONS

R	DATE	DESCRIPTION
2	01DEC14	SECTION 96

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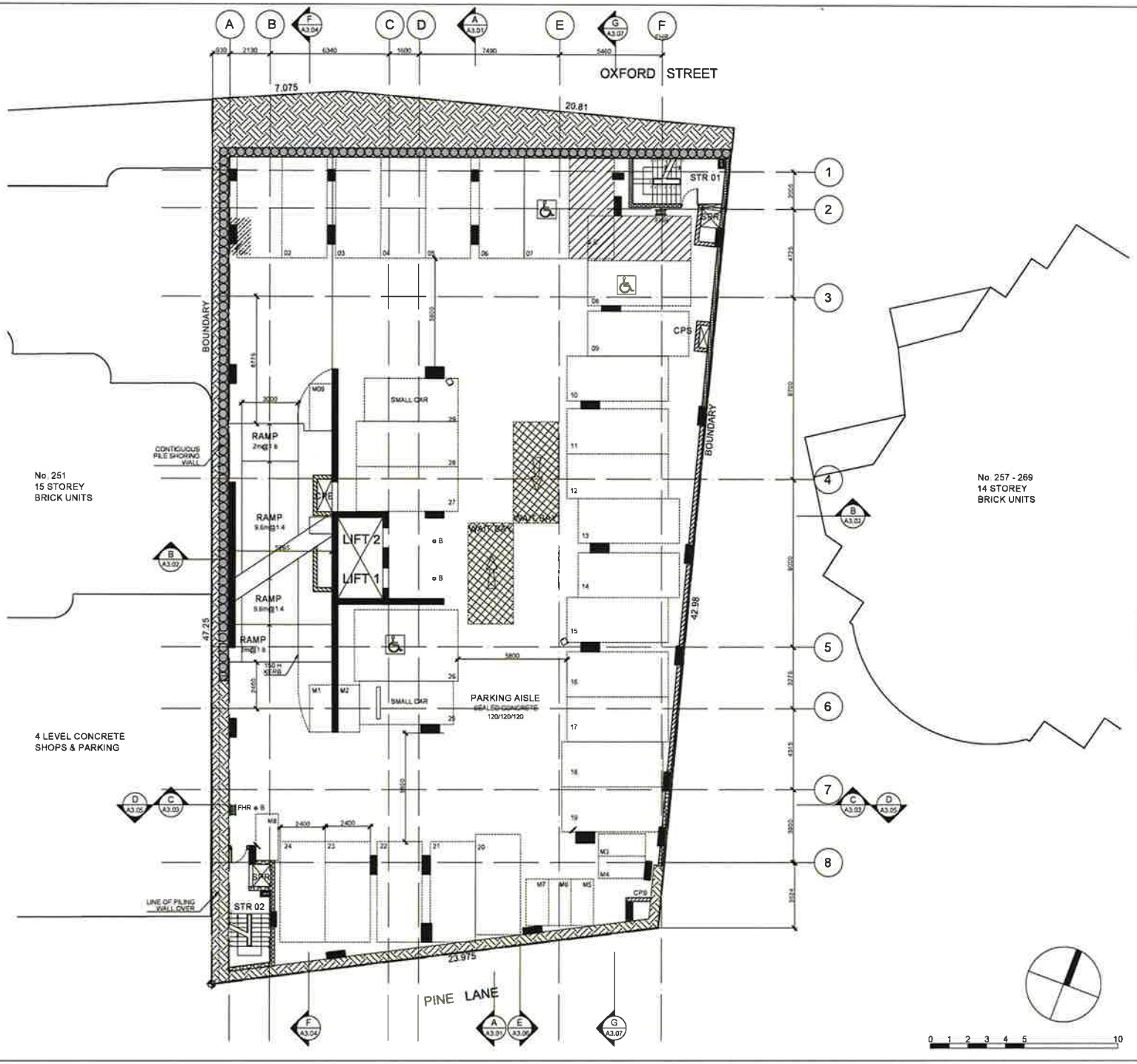
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
BASEMENT 3

1241	DA200-2	1:100@A1
CONSTR'N		MC



REVISIONS

R	DATE	DESCRIPTION
2	01DEC4	SECTION 96

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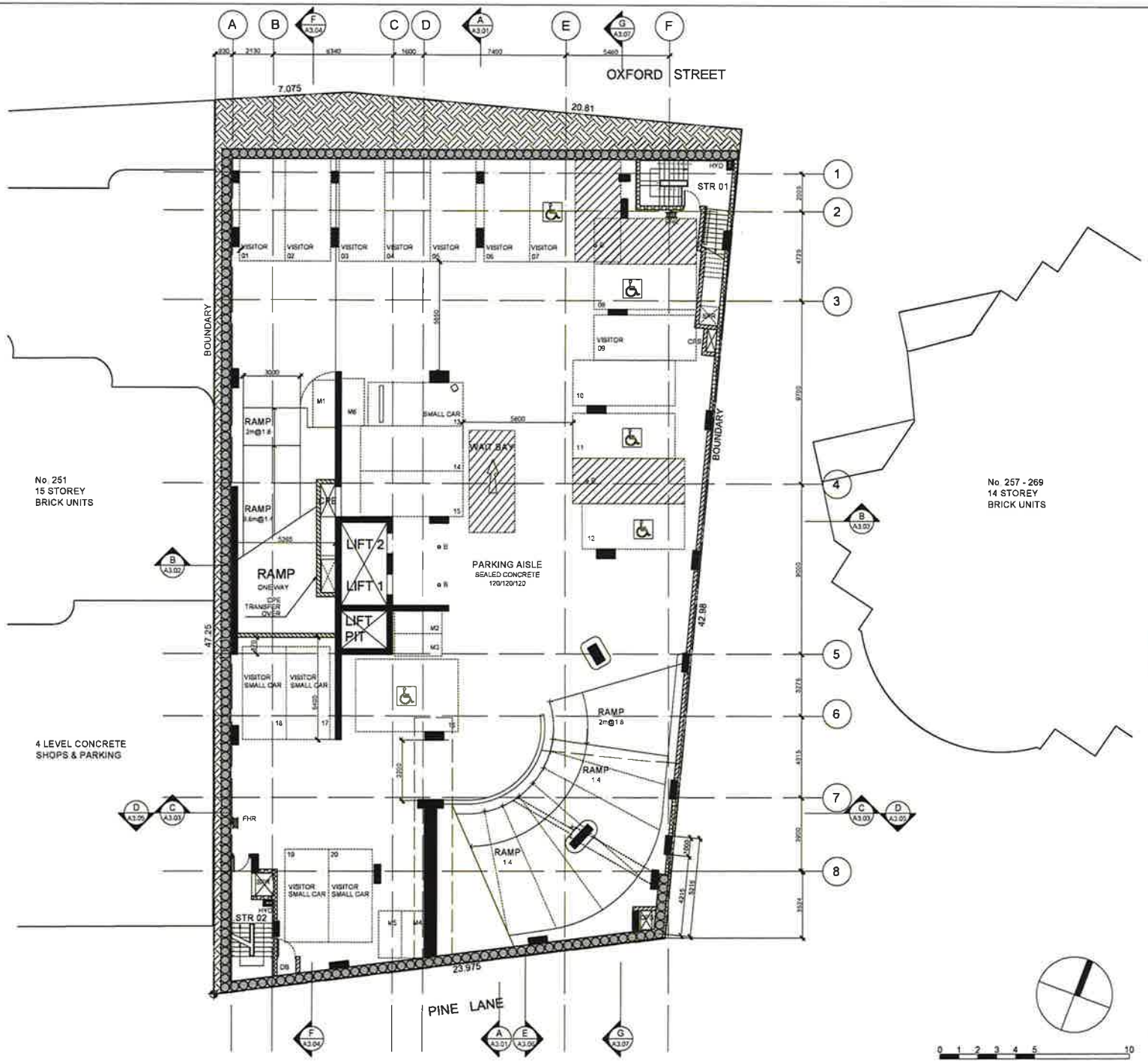
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
BASEMENT 2

1241 | DA201-2 | 1:100@A1
CONSTR'N | MC



REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96

ICON CO

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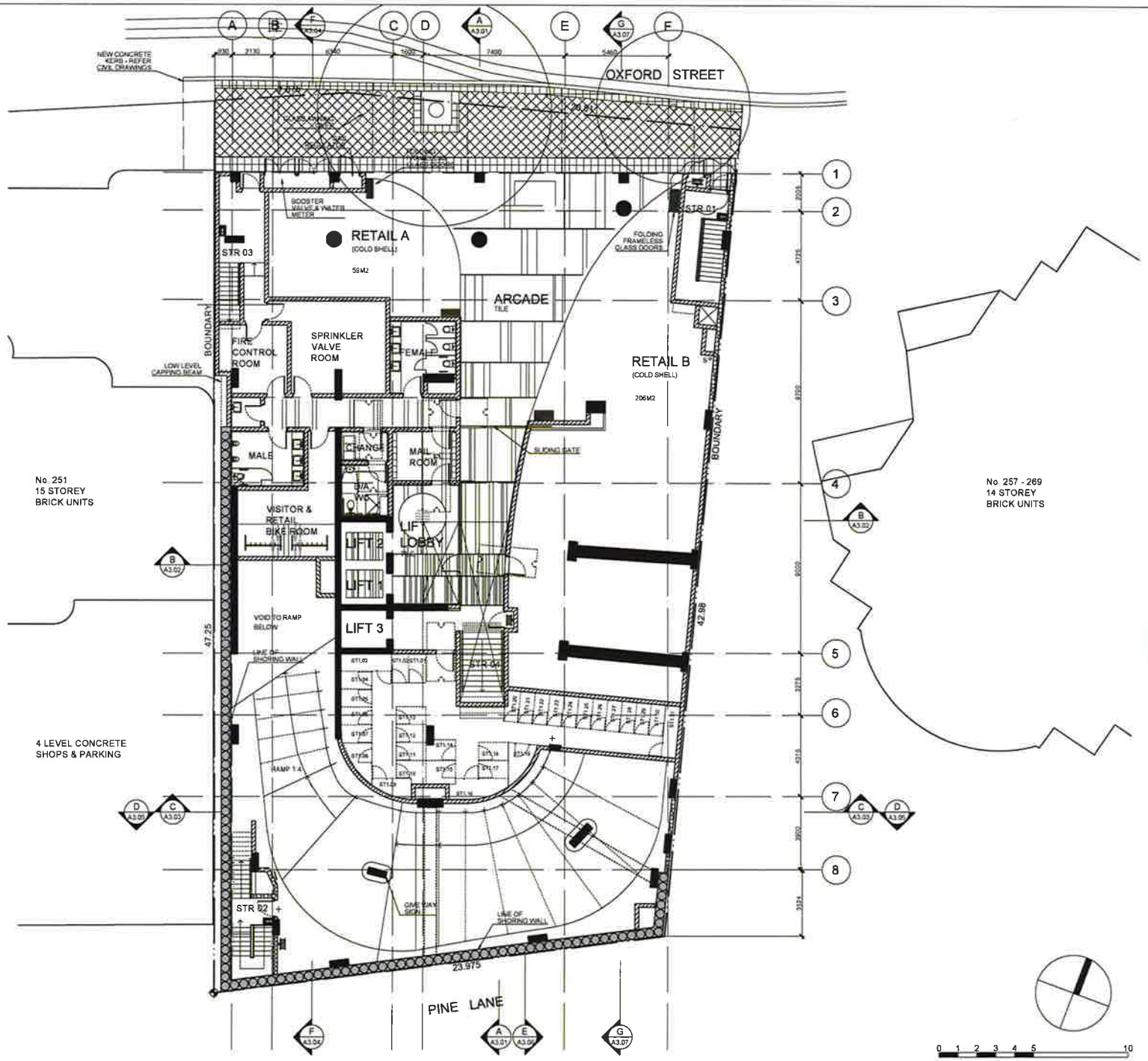
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
BASEMENT 1

1241	DA202-2	1:100@A1
CONSTR N		MC



REVISIONS

R	DATE	DESCRIPTION
4	01DEC14	SECTION 96

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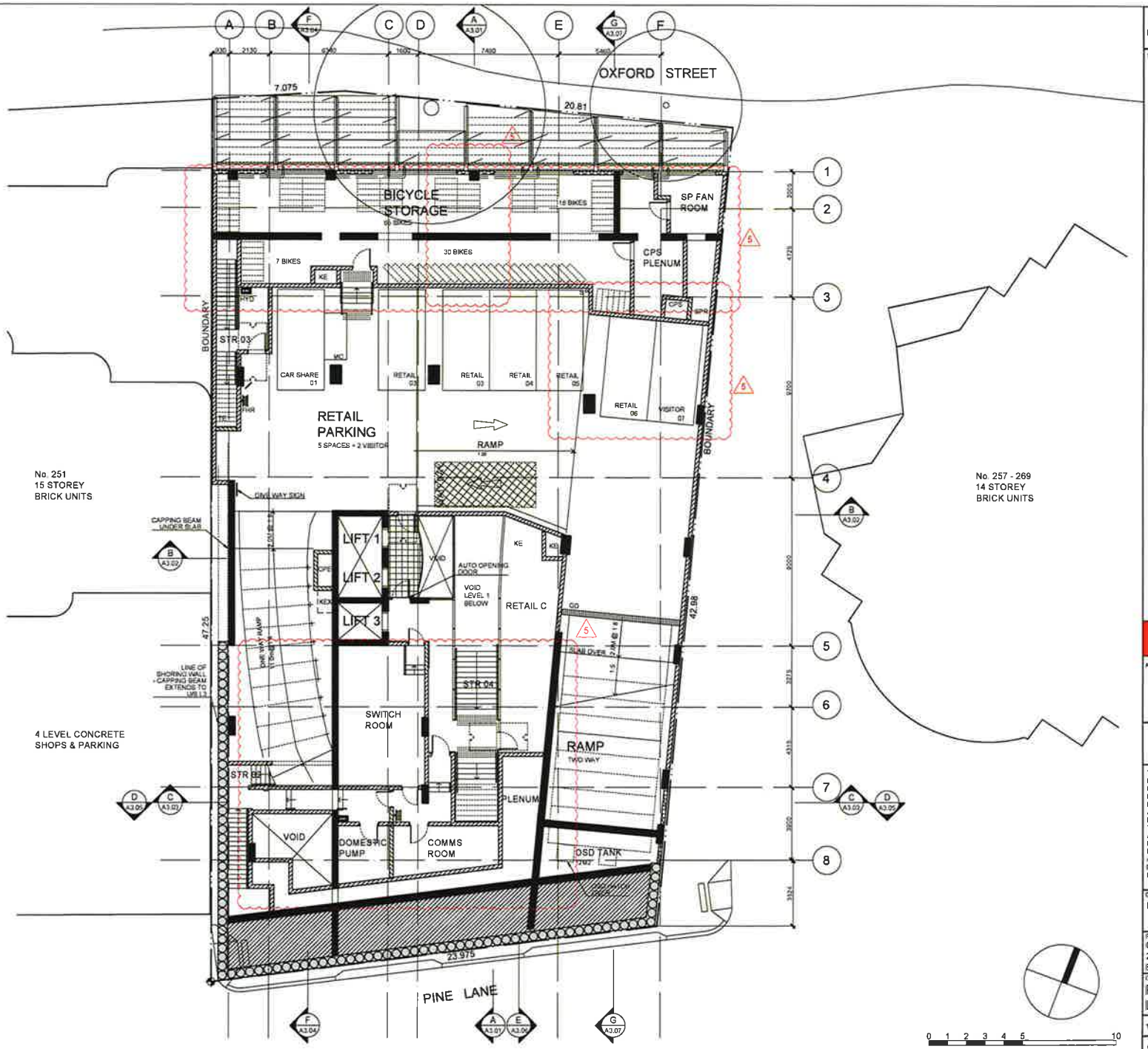
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 1

1241 | DA203-4 | 1:100@A1
CONSTR'N | MC



REVISIONS

R	DATE	DESCRIPTION
5	17SEP14	SKYLIGHT DELETED - STORAGE ENLARGED, PLANT DELETED - PARKING ADDED, PLANT ROOMS REVISED

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PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 2

1241	DA204-5	1:100@A1
CONSTR N		MC

LEGEND

NOTATION

WINDOW NUMBER
FLOOR NUMBER
WINDOW NO. ON THAT FLOOR
DOOR NUMBER
UNIT NUMBER
DOOR NUMBER IN THAT UNIT
DRAWING REFERENCE
REFER TO THAT DRAWING

EXISTING RL

PROPOSED RL

FINISHED FLOOR LEVEL
STRUCTURAL SLAB LEVEL

FLOOR TO CEILING HEIGHT OFF
INTERNAL STRUCTURAL LEVEL

FIRE HOSE REEL

FIRE HYDRANT
300MM SLEEVE REQUIRED

HYDRAULICS RISER
MECHANICAL RISER

ROBE WARDROBE
LIN LINEN
STDY STUDY

SERVICES
NOTE: PRELIMINARY SERVICES COORDINATION ON LEVELS 5 AND 11 ONLY

SPR STAIR PRESSURISATION RISER
RA RELIEF AIR RISER
ACR AC CONDENSER RISER
LS LOBBY SUPPLY
ELE ELECTRICAL CBD/RISER
COM COMMUNICATIONS & NBN CBD/RISER
WGR WATER & GAS RISER
WDL WATER DATA LOGGER
ACR AC CONDENSOR RISER
TGI TACTILE GROUND INDICATOR

TOILET EXHAUST OUTLET
RS80°C KITCHEN EXHAUST
CEILING SPRINKLER
SIDE THROW WALL SPRINKLER
EXTERNAL WINDOW DRENCHER
BALCONY RAIN WATER OUTLET
DOWNPIPE IN RC COLUMN
BALCONY OVERFLOW
AC RELIEF AIR/ACCESS PANEL
KITCHEN EXHAUST CONNECT
TOILET EXHAUST GRILLE
AC LINEAR GRILLE
CEILING FAN
DISH DRAIN

WALLS AND BALUSTRADES

WALL TYPE 12 (REFER A700 DRAWINGS)
CONCRETE (W01,W02 ETC.)
LOADBEARING PRECAST RC
CONCRETE 'DINCELL' (W09)
BLOCKWORK (W11,W12 ETC.)
'HEBEL' (W31,W32 ETC.)
LIGHTWEIGHT (W41, W81 ETC.)
PRECAST (W51, ETC.)

BALUSTRADE 01(REFER A603 DRAWING)

ELEVATIONS
AL'M FRAMED CLEAR GLAZING
AL'M FRAMED 'COLOURBACK' GLAZING
GLASS BALUSTRADE REFER TO A603
GLASS BALUSTRADE REFER TO A603
GLASS BALUSTRADE REFER TO A603
SOLID BALUSTRADE 1000 HIGH
GLASS BALUSTRADE REFER TO A603
PRECAST RC WALL TEXTURED FINISH
PRECAST RC WALL FLAT FINISH
PRECAST RC BALCONY FLAT FINISH + PAINT
RC PAINT FINISH TYPE 1
RC PAINT FINISH TYPE 2
GRATED DRAIN
ROLLER SHUTTER

CEILINGS - ARCHITECTURAL RCP DRAWINGS
ALL INTERNAL RESIDENTIAL AREAS TO HAVE SUSPENDED PLASTERBOARD CEILINGS THROUGHOUT ALL BALCONIES TO HAVE SUSPENDED CFC CEILINGS THROUGHOUT

2700 ABOVE FFL

2600 ABOVE FFL

2400 ABOVE FFL

2200 ABOVE FFL

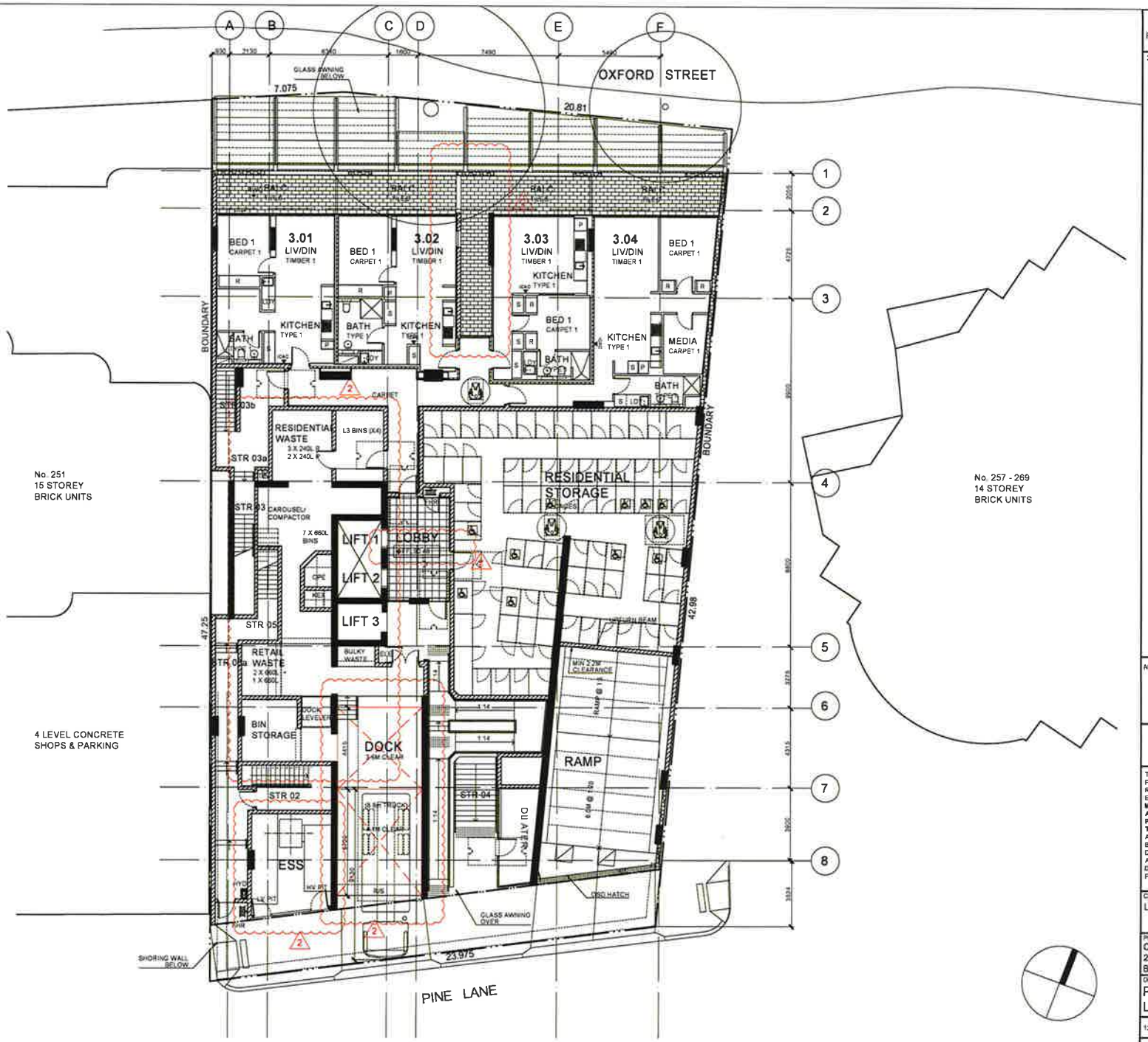
INTERIORS DRAWINGS - SJB
FOR APARTMENT DRAWINGS REFER TO SJB DRAWINGS 'WD100 SERIES' AND BY UNIT TYPE
FOR COMMON AREAS DRAWINGS REFER TO SJB DRAWINGS 'WD2000 SERIES'

CONCRETE SETOUT DRAWINGS

30mm SETDOWN UNO

40mm SETDOWN UNO

SD-85mm 85mm SETDOWN UNO



REVISIONS

R	DATE	DESCRIPTION
2	17SEPT14	SECTION 96. SUBSTATION ENCLOSED, DOCK REDUCED RL CHANGED, BIN ROOMS & COLLECTION REVISED, SKYLIGHT DELETED, S 03 TERRACE ENLARGED

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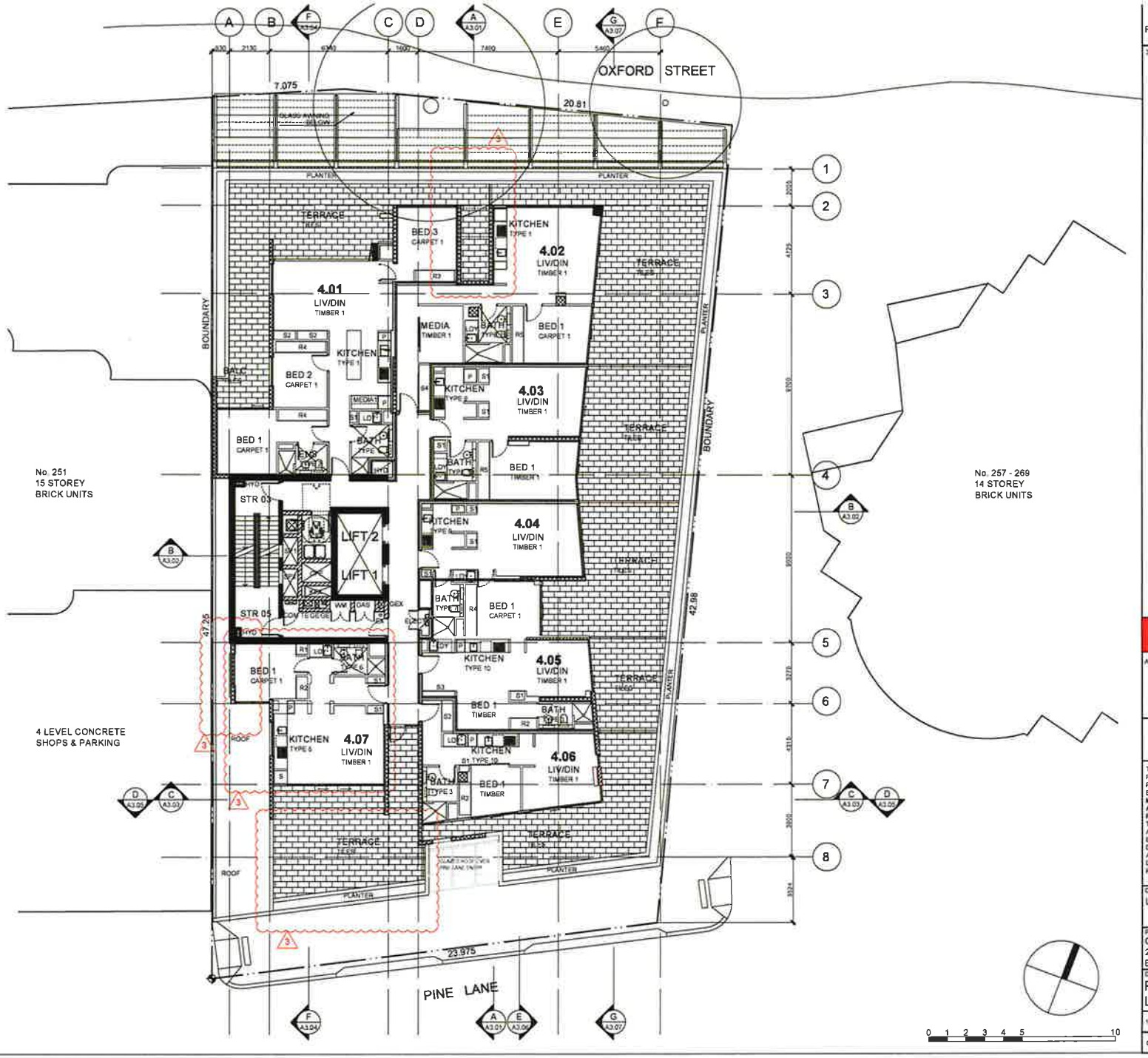
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 3

1241 | DA205-2 | 1:100@A1
CONSTR N | MC



REVISIONS

R	DATE	DESCRIPTION
3	17SEPT14	SECTION 96, STAIR DELETED, L 4.07 LAYOUT CHANGED, SKYL DELETED-4.01 TERRACE ENLARGED, SUBSTATION ENCLOSED-TERRACE INCREAS

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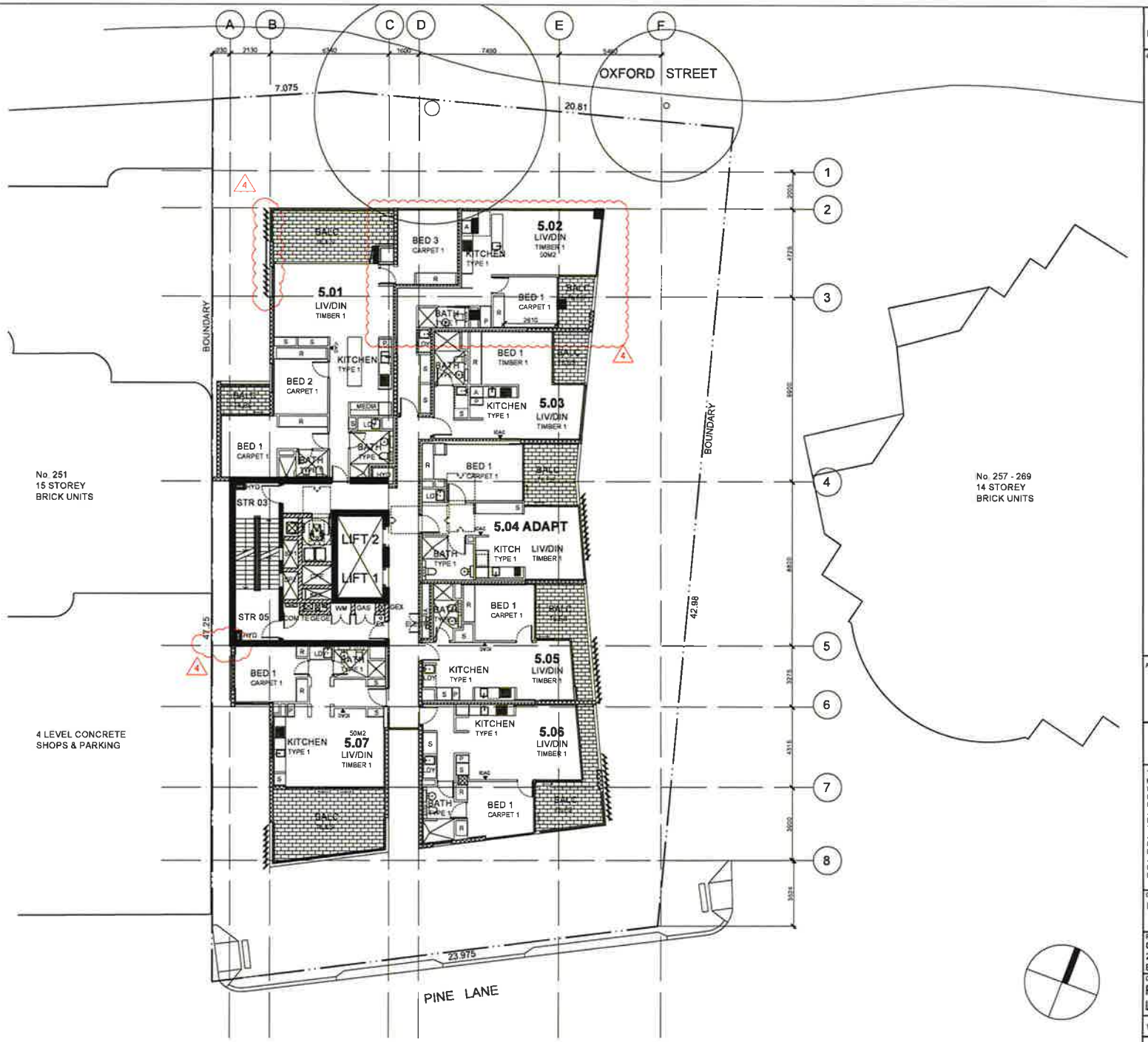
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 4

1241 | DA206-3 | 1:100@
CONSTRN | MC



REVISIONS

R	DATE	DESCRIPTION
4	17SEPT14	SECTION 96. UNIT 5.02 LAYOUT CHANGED, LOUVRES CORRECTED, NIB REMOVED

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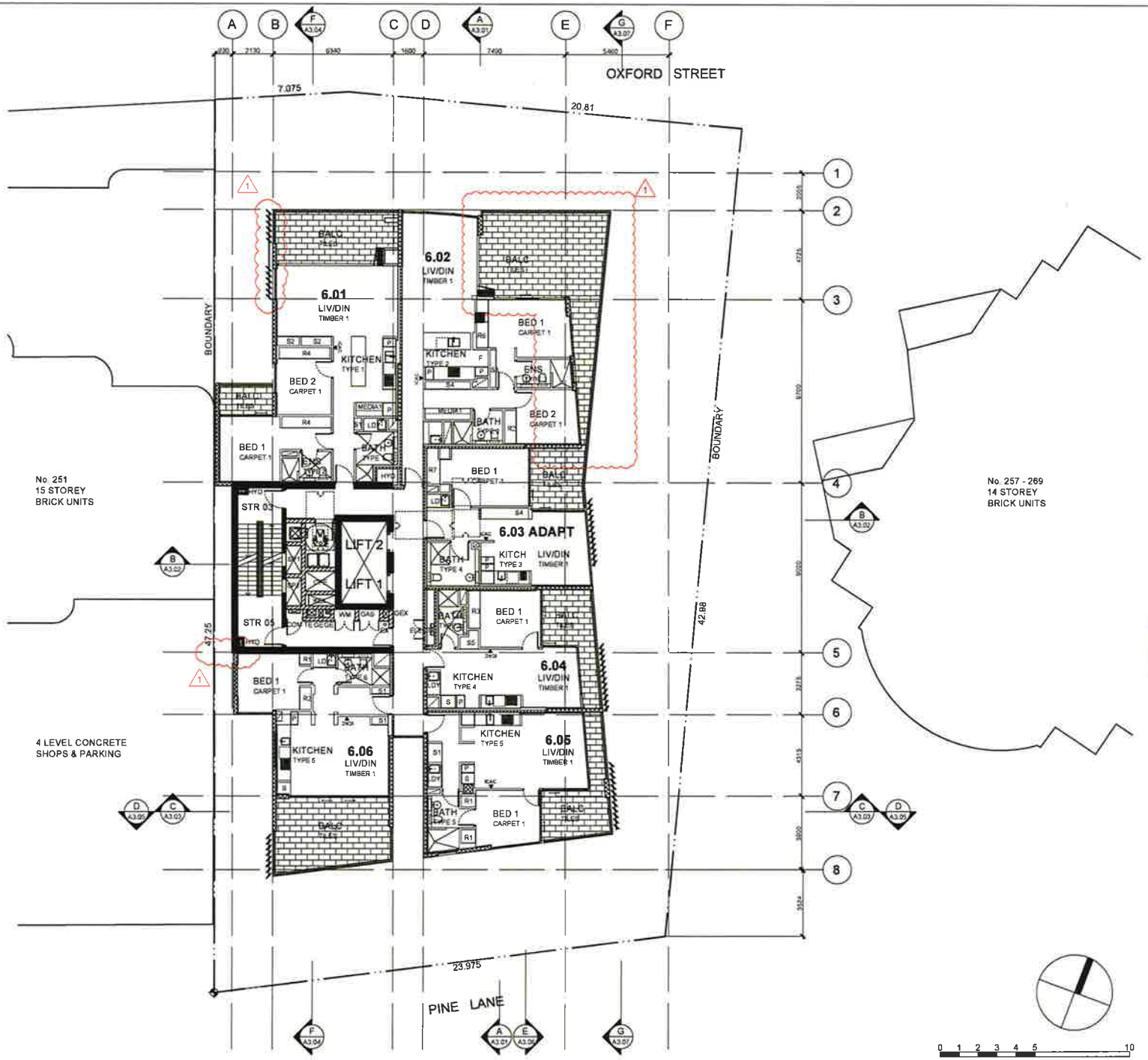
BONDI JUNCTION

DRAWING
PLAN
LEVEL 5

1:241	DA207-4	1:100@A1
CONSTR'N		MC



REVISIONS

R	DATE	DESCRIPTION
1	17SEP14	ROOF TERRACE SHOWN TO 6.02 LOUVRES CORRECTED NIB REMOVED

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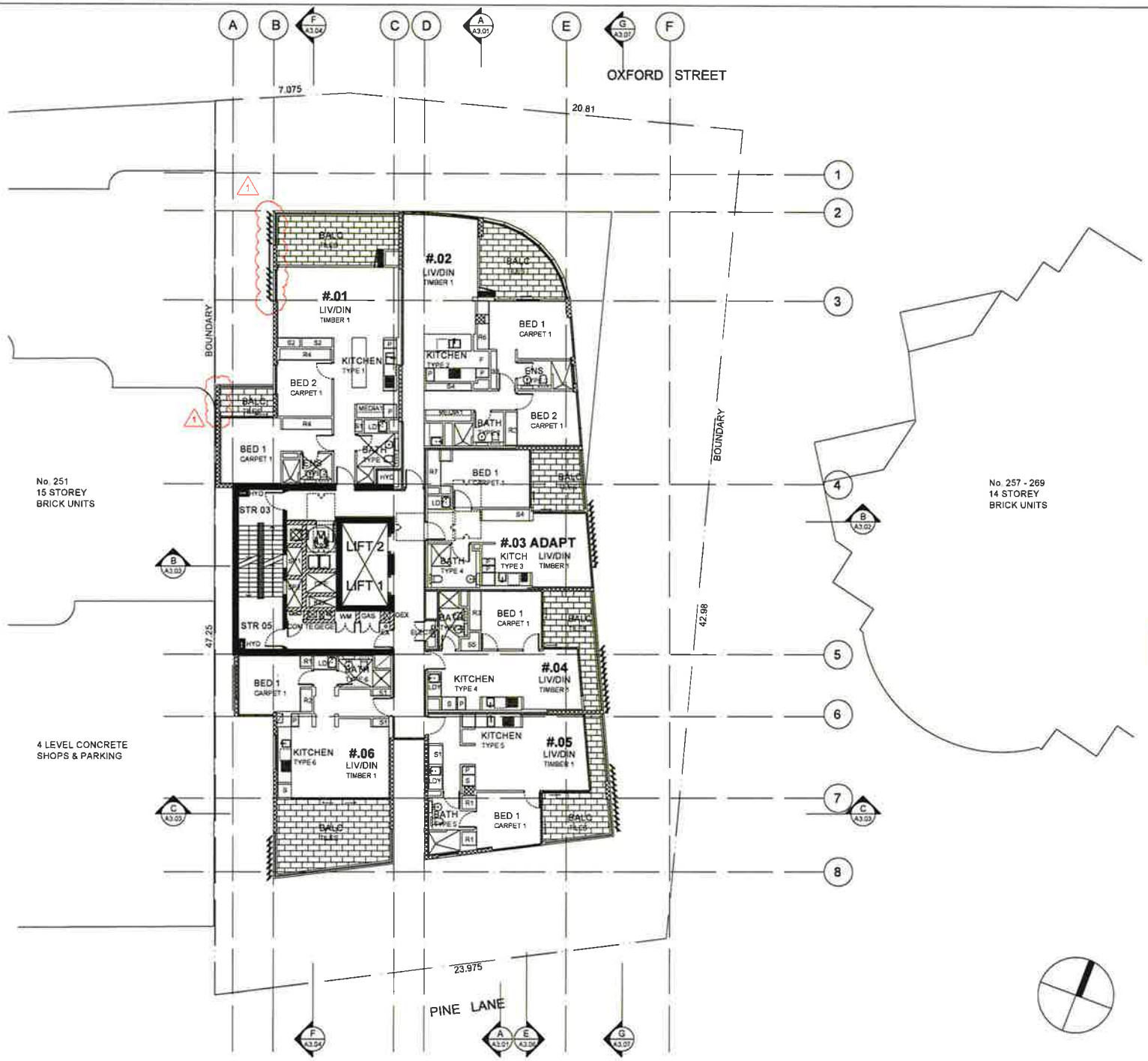
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 6

1241 | DA207A-1 | 1:100@A1
CONSTR N | MC



REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96 LOUVRES CORRECTED

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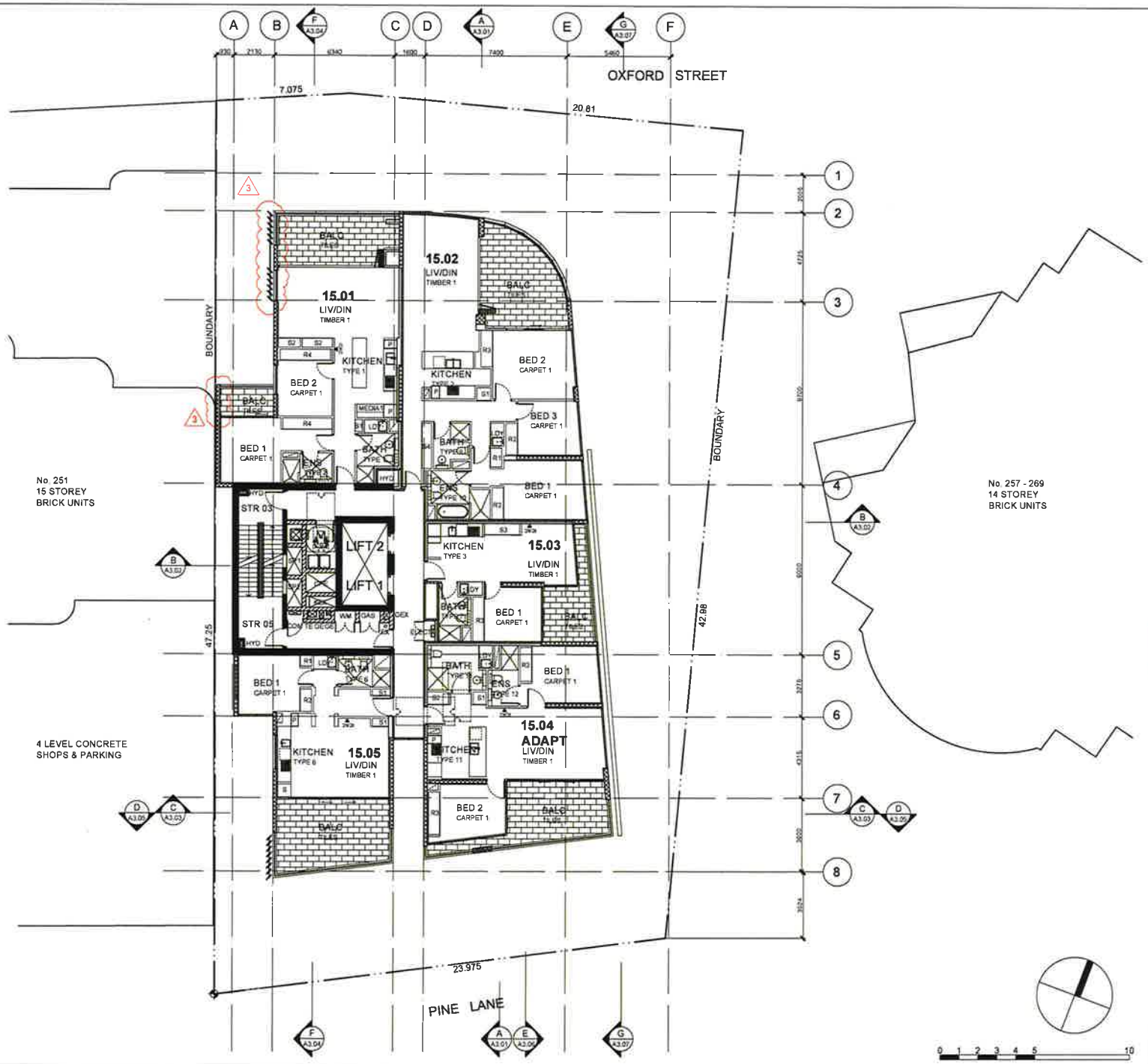
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 7 - 14

1241 | DA208-3 | 1:100@A1
CONSTR'N | MC



REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96. LOUVRES CORRECTED, BALC NIB WALL ADDED

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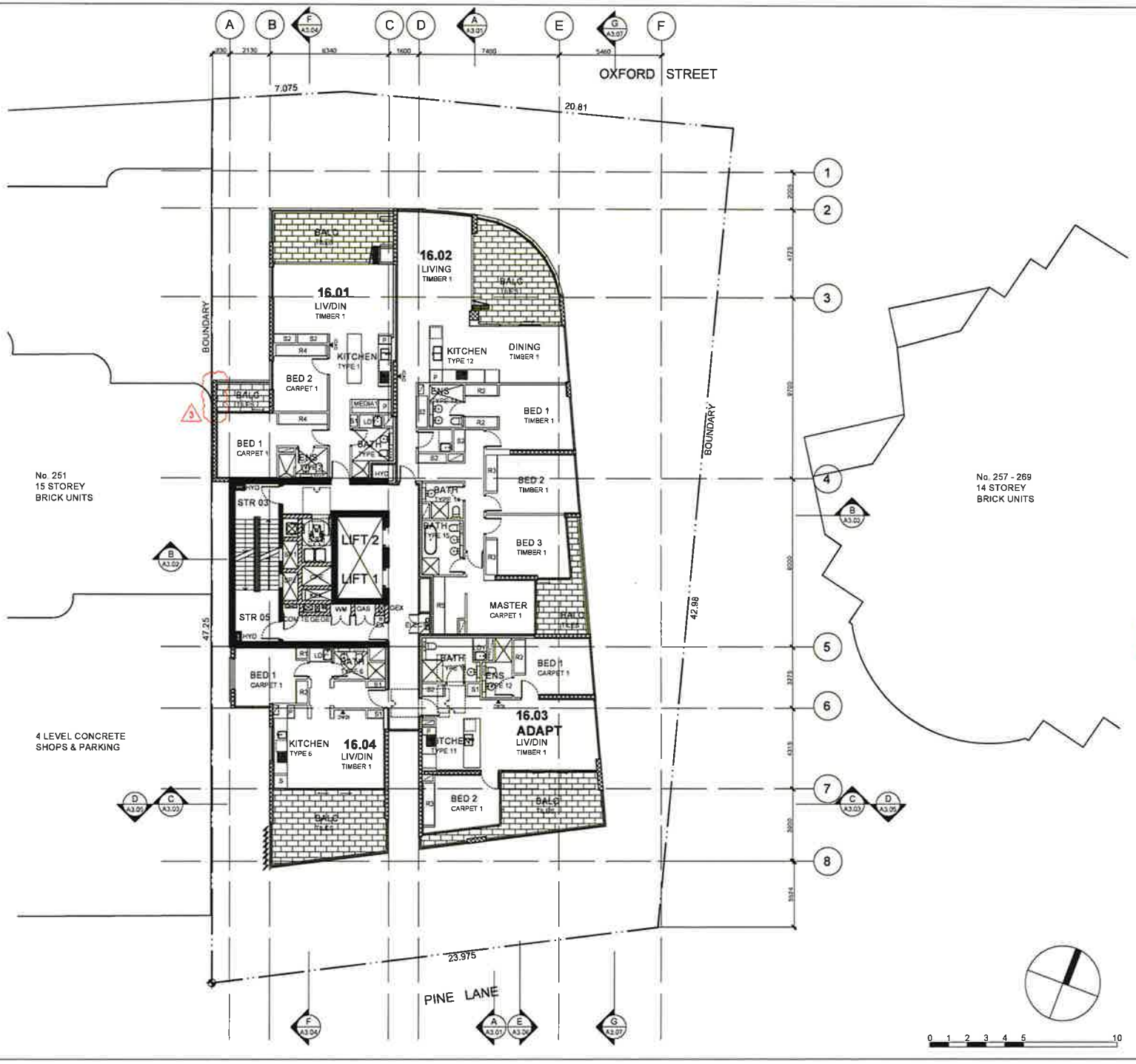
BONDI JUNCTION

DRAWING
PLAN
LEVEL 15

1241 | DA209-3 | 1:100@A1
CONSTR'N | MC



REVISIONS

R	DATE	DESCRIPTION
1	01DEC14	SECTION 96,BALCONY NIB WALL ADDED

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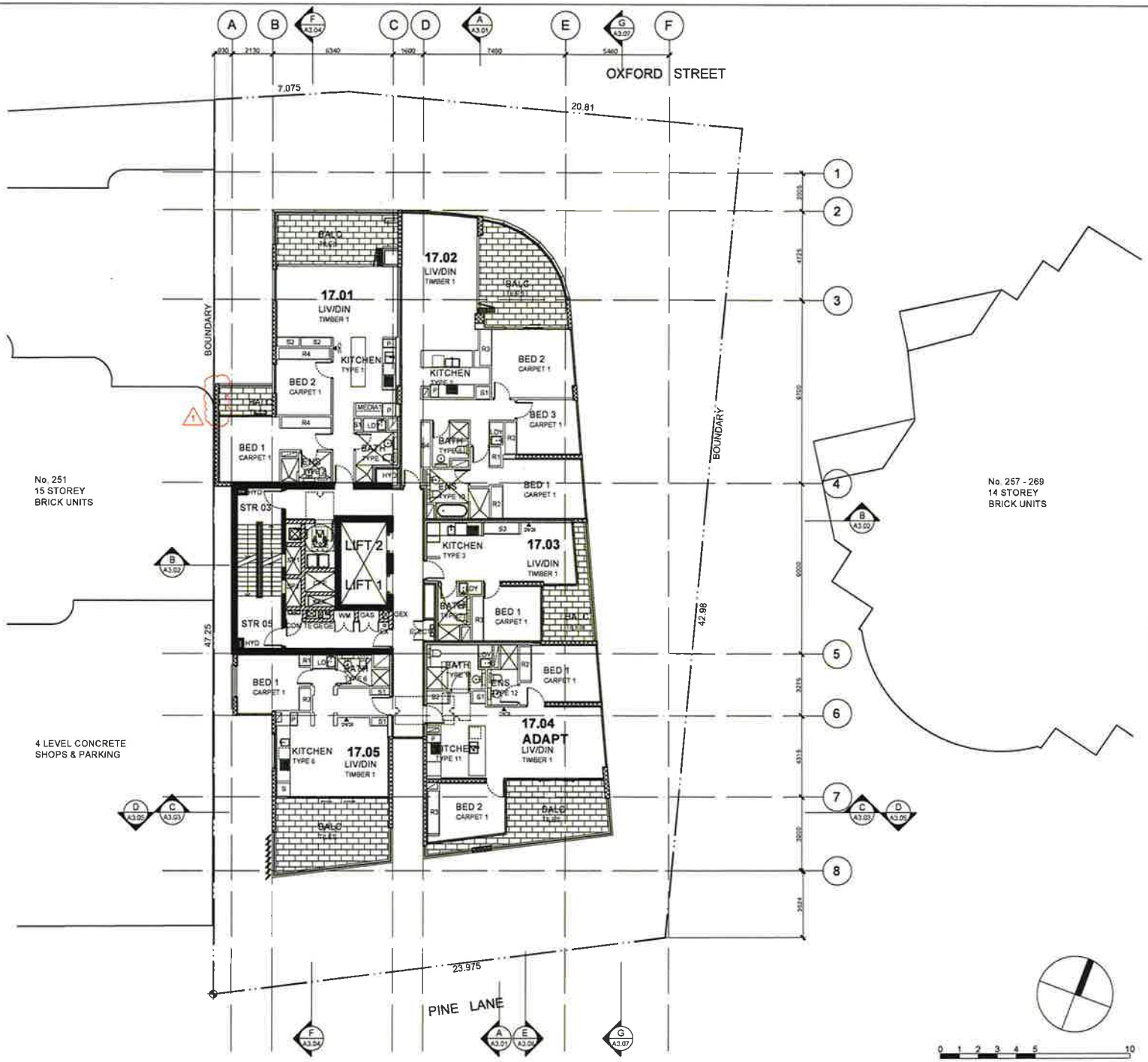
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 16

1241 | DA210-3 | 1:100@A1
CONSTR'N | MC



REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96 BALCONY NIB WALL ADDED

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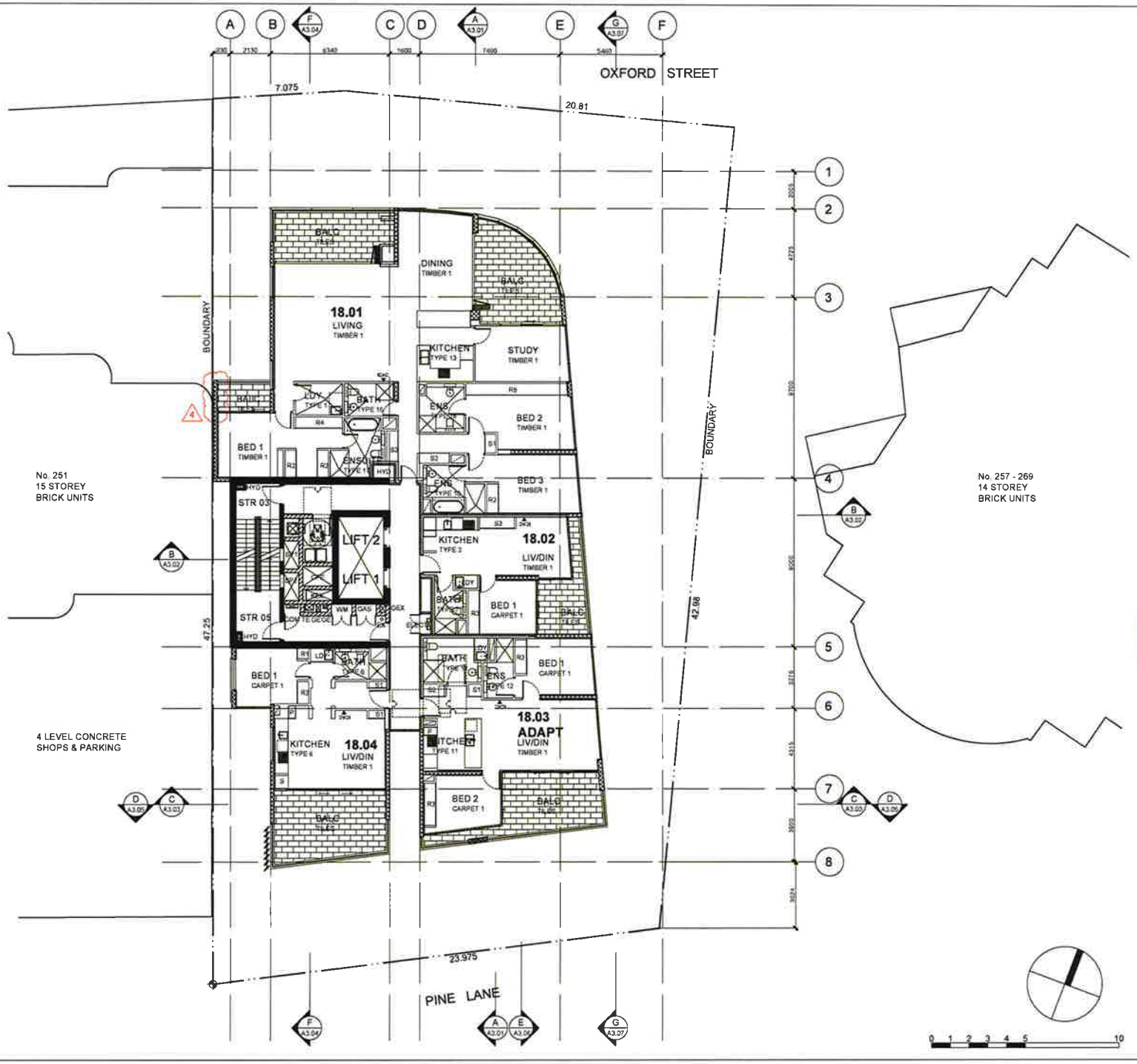
PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 17

1241	DA211-3	1:100@A1
CONSTR'N		MC



REVISIONS

R	DATE	DESCRIPTION
4	01DEC14	SECTION 96 BALCONY NIB WALL ADDED

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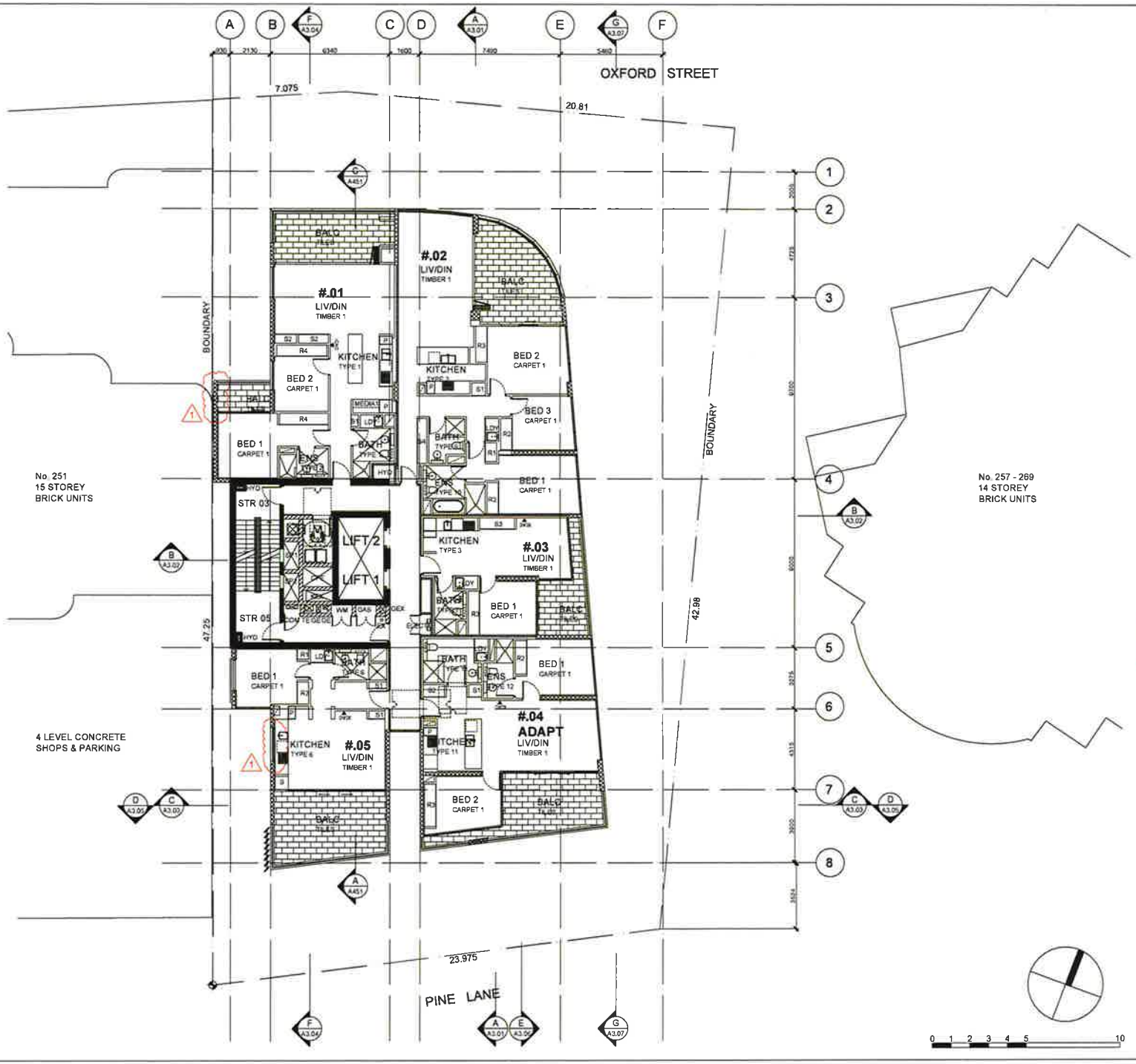
LEGACY PROPERTY GROUP

PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 18

1241 | DA211A-4 | 1:100@A1
CONSTRN | MC



REVISIONS

R	DATE	DESCRIPTION
7	01DEC14	SECTION 96: BALCONY NIB WALL ADDED

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PROJECT
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 19 - 20

1241 | DA212-7 | 1:100@A1
CONSTR'N | MC

LEGEND

NOTATION

- L01 / W02 — **WINDOW NUMBER** FLOOR NUMBER / WINDOW NO. ON THAT FLOOR
- 101 / D01 — **DOOR NUMBER** UNIT NUMBER / DOOR NUMBER IN THAT UNIT
- A / A2.02 — DRAWING REFERENCE REFER TO THAT DRAWING
- RL12.345 — EXISTING RL
- RL12.345 — PROPOSED RL
- FFL12.345 — FINISHED FLOOR LEVEL
- SSL12.345 — STRUCTURAL SLAB LEVEL
- CH 1234 — FLOOR TO CEILING HEIGHT OFF INTERNAL STRUCTURAL LEVEL
- FIRE HOSE REEL
- FIRE HYDRANT 250MM SLEEVE REQUIRED
- HYDRAULICS RISER
- MECHANICAL RISER
- ROBE — WARDROBE
- LIN — LINEN
- STDY — STUDY

SERVICES

NOTE: PRELIMINARY SERVICES COORDINATION ON LEVELS 5 AND 11 ONLY

- SPR — STAIR PRESSURISATION RISER
- RA — RELIEF AIR RISER
- ACR — AC CONDENSER RISER
- LS — LOBBY SUPPLY
- ELE — ELECTRICAL CBD/RISER
- COM — COMMUNICATIONS & NBN CBD/RISER
- WGR — WATER & GAS RISER
- WDL — WATER DATA LOGGER
- ACR — AC CONDENSOR RISER
- TGI — TACTILE GROUND INDICATOR

- TOILET EXHAUST OUTLET
- RESIDI. KITCHEN EXHAUST
- CEILING SPRINKLER
- SIDE THROW WALL SPRINKLER
- EXTERNAL WINDOW DRENCHER
- RWG DP/C — BALCONY RAIN WATER OUTLET DOWNPIPE IN RC COLUMN
- BALCONY OVERFLOW
- AC RELIEF AIR/ACCESS PANEL
- KITCHEN EXHAUST CONNECT
- TOILET EXHAUST GRILLE
- AC LINEAR GRILLE
- CEILING FAN
- DD — DISH DRAIN

WALLS AND BALUSTRADES

- W12 — WALL TYPE 12 (REFER A700 DRAWINGS)
- CONCRETE (W01,W02 ETC.)
- LOADBEARING PRECAST RC
- CONCRETE 'DINCELL' (W09)
- BLOCKWORK (W11,W12 ETC.)
- HEBEL (W21,W32 ETC.)
- LIGHTWEIGHT (W41, W61 ETC.)
- PRECAST (W51, ETC.)
- GB1 — BALUSTRADE 01(REFER A603 DRAWING)

ELEVATIONS

- A01 — AL M FRAMED CLEAR GLAZING
- A02 — AL M FRAMED 'COLOURBACK' GLAZING
- G01 — GLASS BALUSTRADE REFER TO A603
- G02 — GLASS BALUSTRADE REFER TO A603
- G03 — GLASS BALUSTRADE REFER TO A603
- S01 — SOLID BALUSTRADE 1000 HIGH
- S02 — GLASS BALUSTRADE REFER TO A603
- PC1 — PRECAST RC WALL TEXTURED FINISH
- PC2 — PRECAST RC WALL FLAT FINISH
- PC3 — PRECAST RC BALCONY FLAT FINISH + PAINT
- PC4 — RC PAINT FINISH TYPE 1
- PC5 — RC PAINT FINISH TYPE 2
- GD — GRATED DRAIN
- RS — ROLLER SHUTTER

CEILINGS - ARCHITECTURAL RCP DRAWINGS

ALL INTERNAL RESIDENTIAL AREAS TO HAVE SUSPENDED PLASTERBOARD CEILINGS THROUGHOUT ALL BALCONIES TO HAVE SUSPENDED CFC CEILINGS THROUGHOUT

- 2700 ABOVE FFL
- 2500 ABOVE FFL
- 2400 ABOVE FFL
- 2200 ABOVE FFL

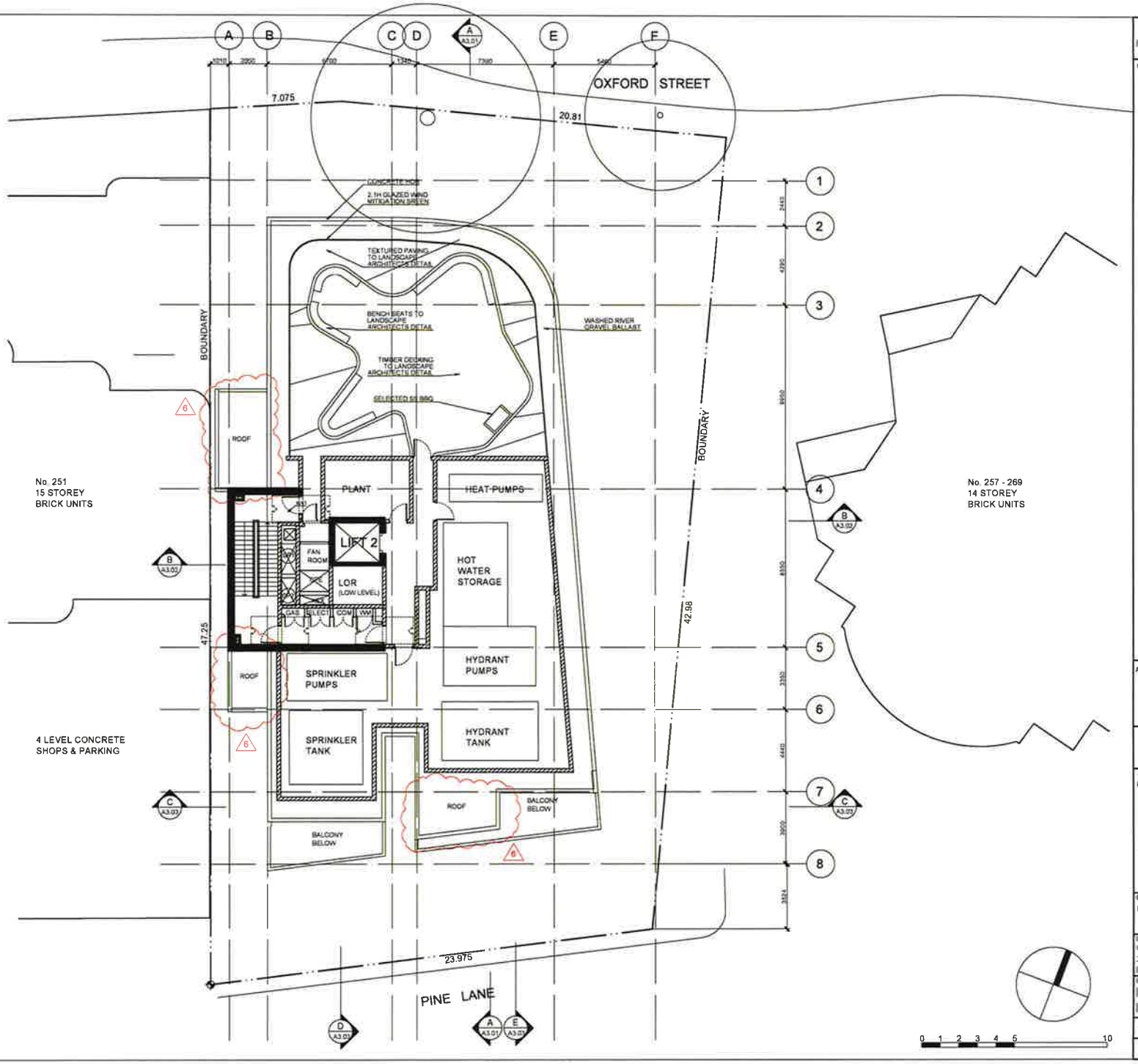
INTERIORS DRAWINGS - SJB

FOR APARTMENT DRAWINGS REFER TO SJB DRAWINGS 'WD100 SERIES' AND BY UNIT TYPE FOR COMMON AREAS DRAWINGS REFER TO SJB DRAWINGS 'WD2000 SERIES'

CONCRETE SETDUT DRAWINGS

- 30mm SETDOWN UNO
- 40mm SETDOWN UNO
- 85mm SETDOWN UNO

SD-85mm



REVISIONS		
R	DATE	DESCRIPTION
E	01DEC14	SECTION 96, ROOF EXTENT CORRECTIONS

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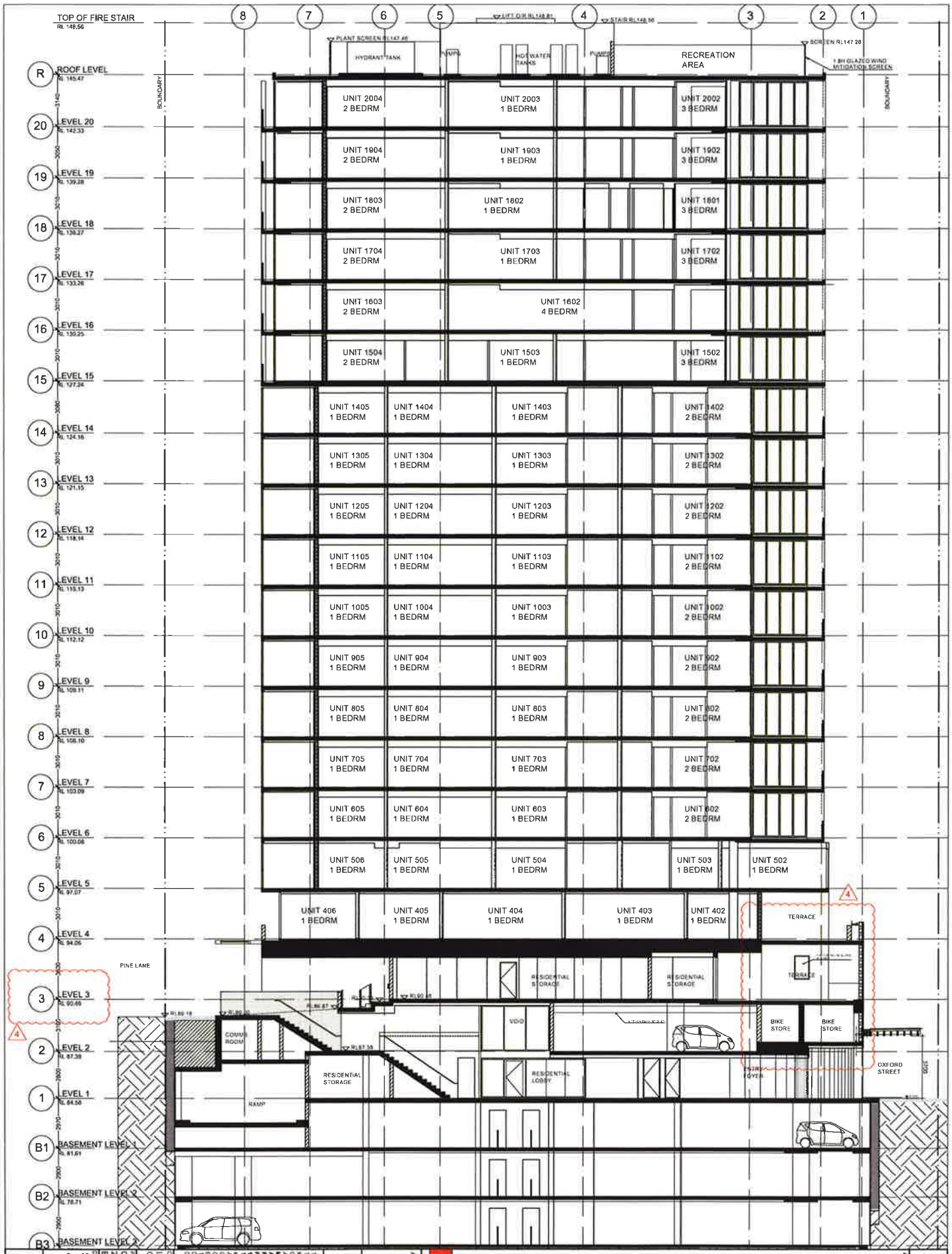
CAPITOL APARTMENTS
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
PLAN
LEVEL 21

1241 | DA214-6 | 1:100@A1

CONSTR'N | MC



DRAWING	SECTION AA
PROJECT	CAPITOL APARTMENTS 253 - 255 OXFORD ST BONDI JUNCTION
CLIENT	LEGACY PROPERTY GROUP
DA300-4	
1:100@A1	CONSTRN
MC	1241

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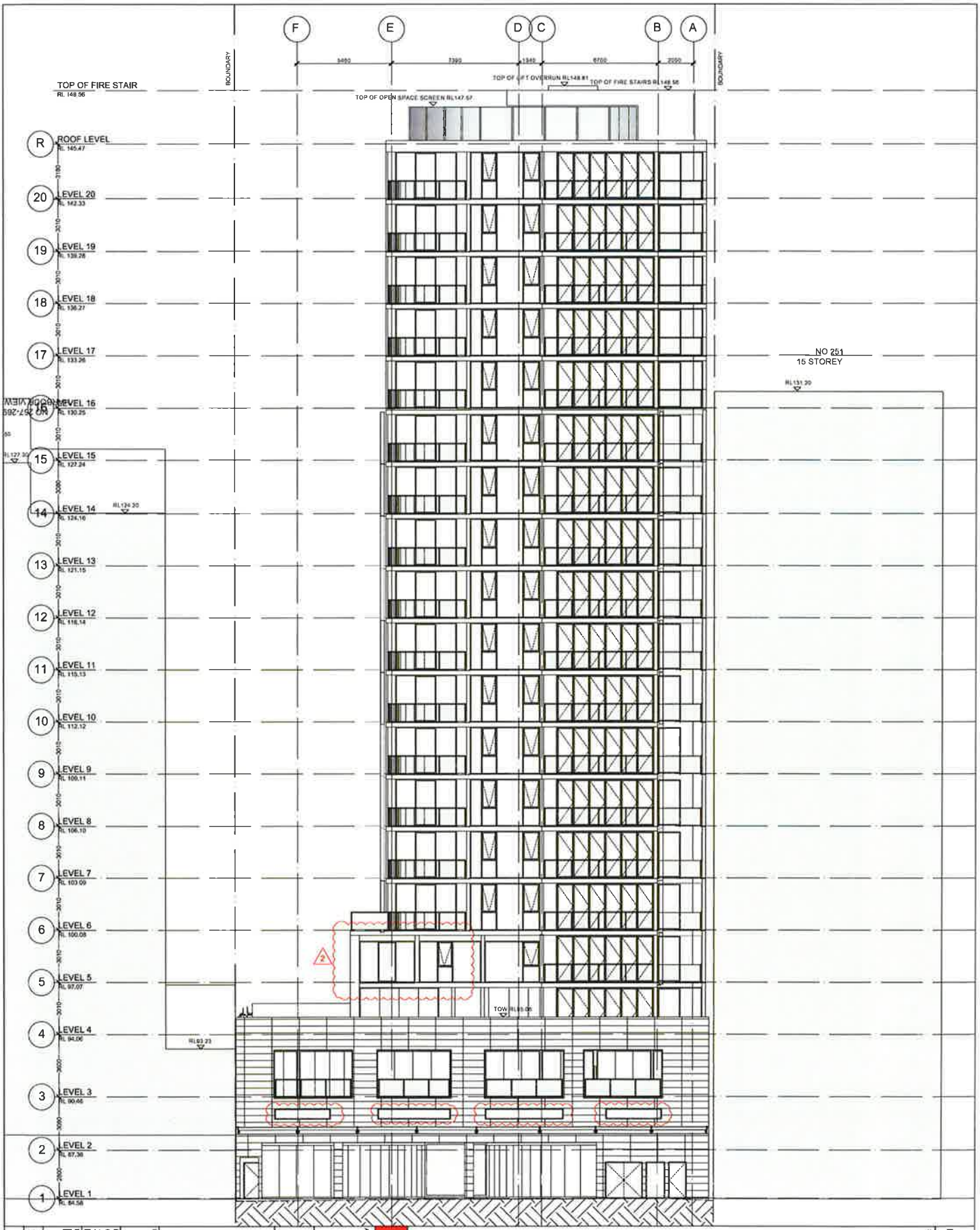
REVISIONS	
R	DATE DESCRIPTION
4	17SEP14 SECTION 06 L3 RL CHANGED SKYLIGHT ENLARGED ENVELOPES



REVISIONS

R	DATE	DESCRIPTION
S	11/08/14	UNIT 5.03 BALCONY MOVED LOUVRES ADDED

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253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
NORTH ELEVATION

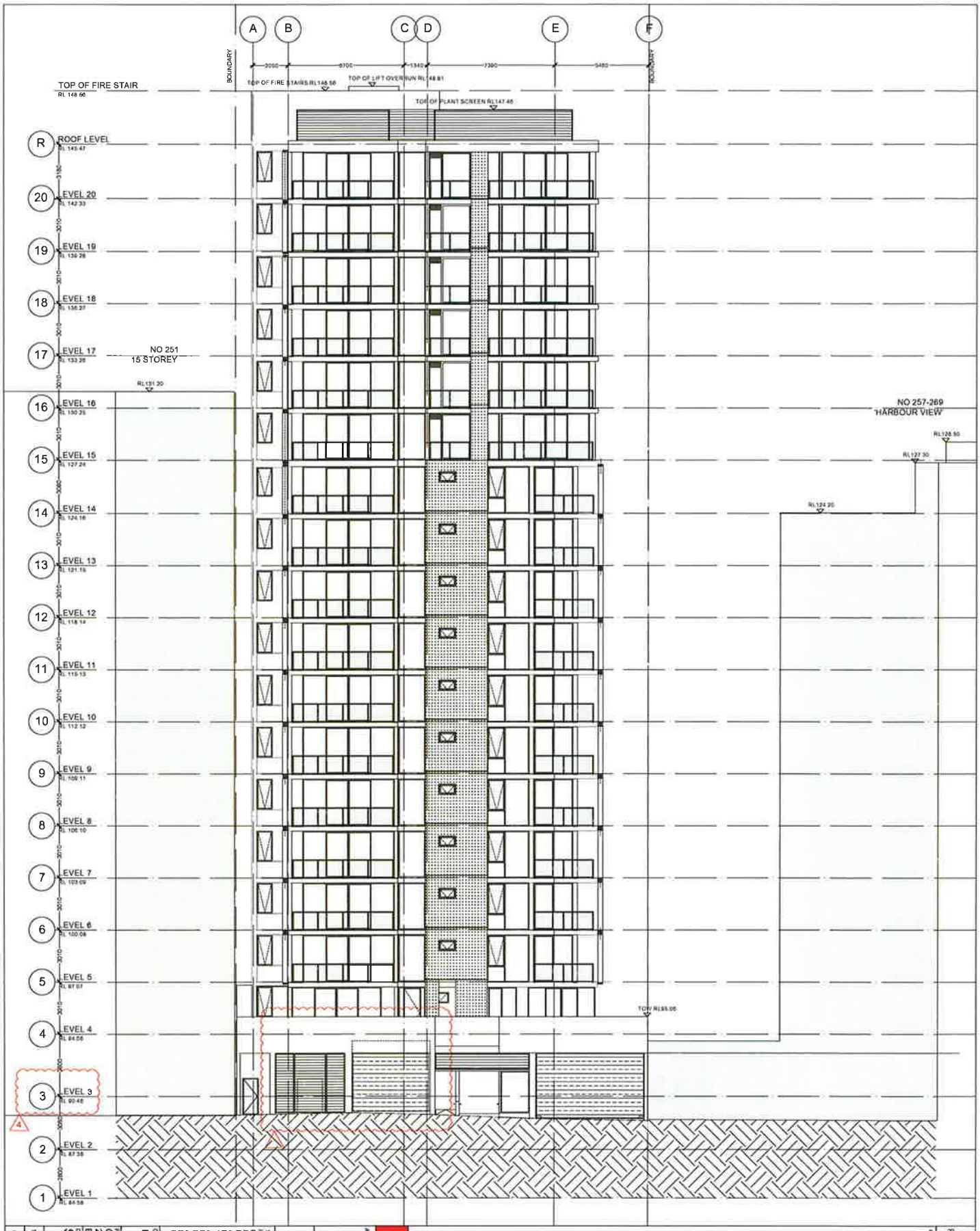
1241

CONSTRN

DA400-5

A - 1:100@A1

MC



REVISIONS

R	DATE	DESCRIPTION
4	11SEP14	SECTION 96 MRH-SUB STATION SHOWN. DOCK WIDTH REDUCED L3 RL CHANGED

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CAPITOL APARTMENTS
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BONDI JUNCTION

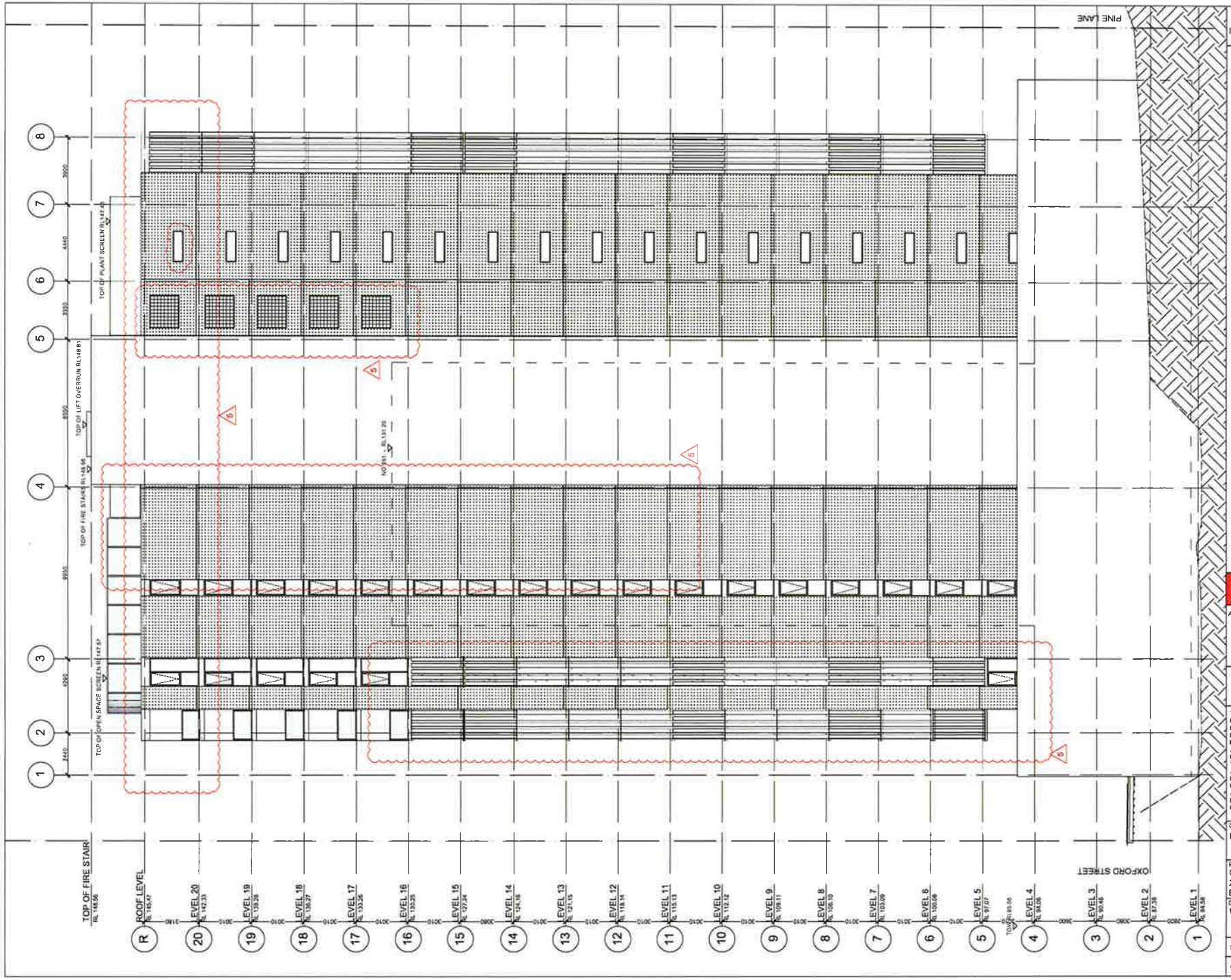
DRAWING
SOUTH ELEVATION

124!
CONSTRN

DA401-4

A 1:100@A1

MC



REVISIONS

R	DATE	DESCRIPTION
5	17SEP14	#.01 UNIT LOUVRES CORRECTED. #.01 BED BALC BLADE MADE SOLID. #DY WINDOWS CHANGED TO GLASS BLOCKS. L20 CORRECTED

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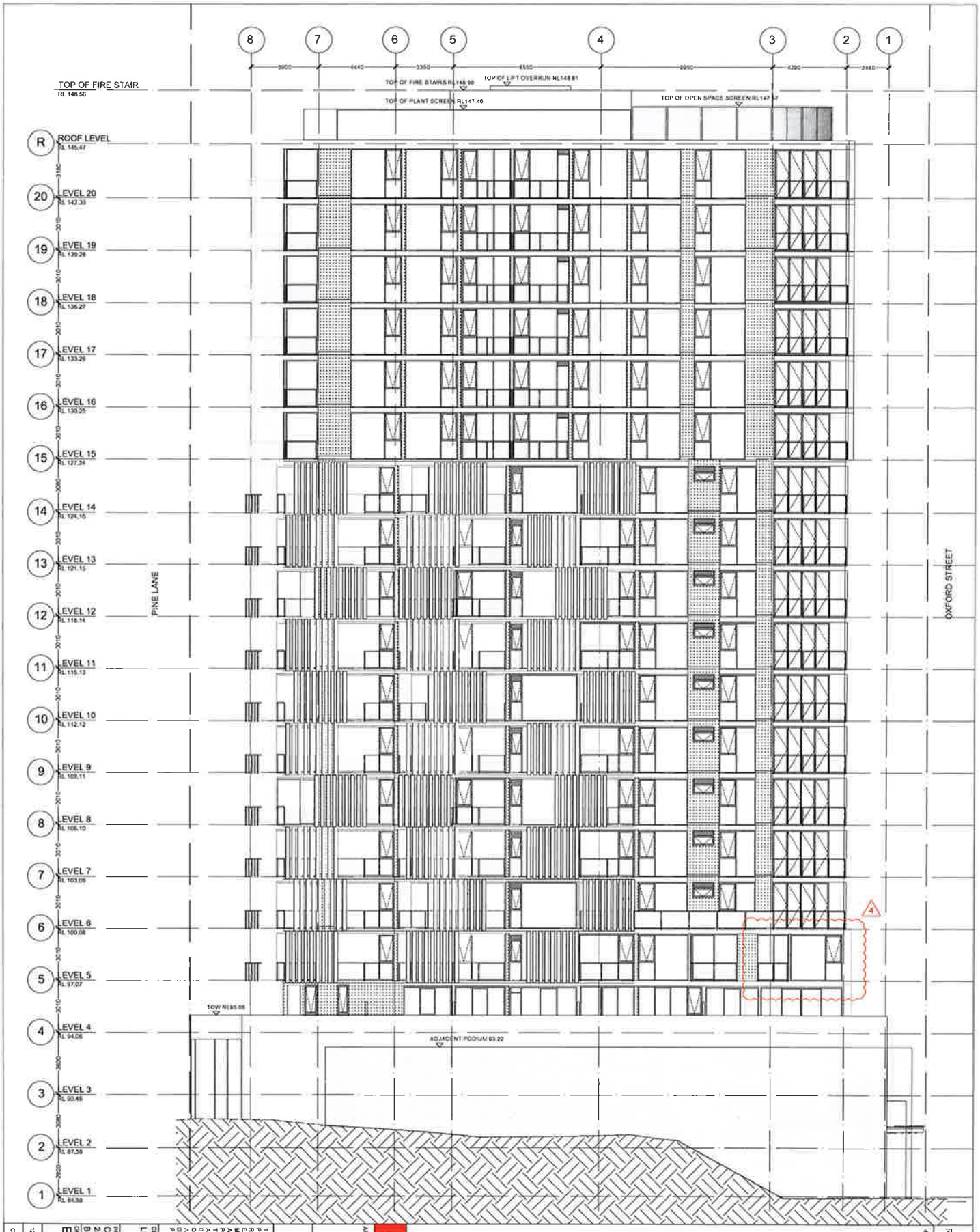
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
WEST ELEVATION

1241	DA402-5	A 100@A1
CONSTR'N		MC



REVISIONS

R	DATE	DESCRIPTION
4	17/SEP/14	UNITS 02 BALCONY MOVED

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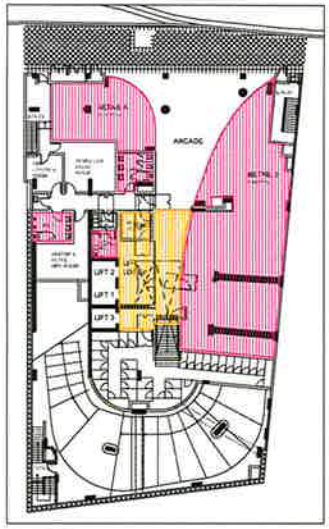
253 - 255 OXFORD ST
BONDI JUNCTION

DRAWING
EAST ELEVATION

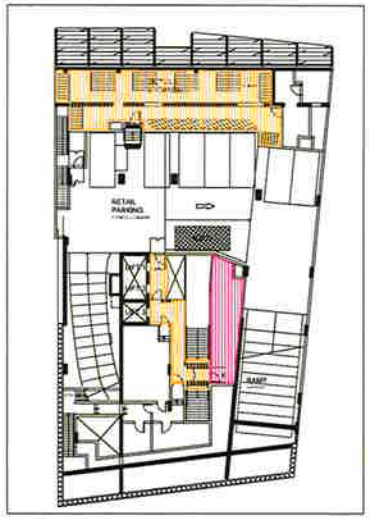
1:241
CONST'RN

DA403-4

A 100@A1
MC

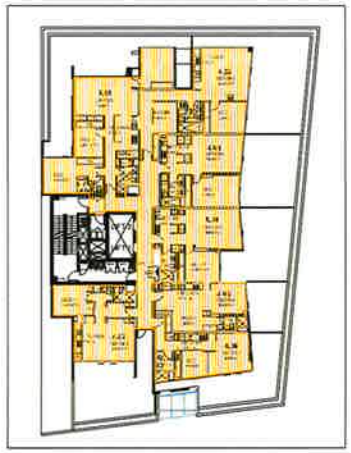


1 LEVEL 1
RESIDENTAIL 70.1M2
COMMERCIAL 204.7M2
3

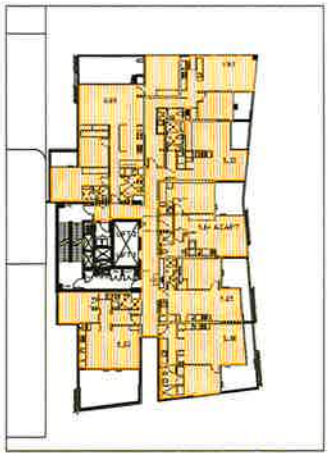


2 LEVEL 2
RESIDENTIAL 151.6M2
COMMERCIAL 33.1M2
3

3 LEVEL 3
RESIDENTAIL 465.2M2
COMMERCIAL 9.5M2
3



4 LEVEL 4
RESIDENTAIL 447.2M2
3



5 LEVEL 5
RESIDENTAIL 425.1M2
3

REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96

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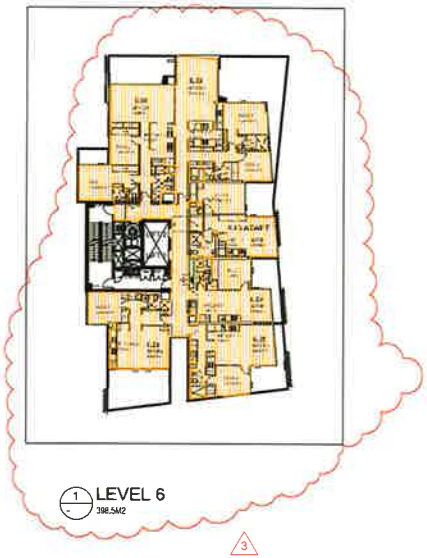
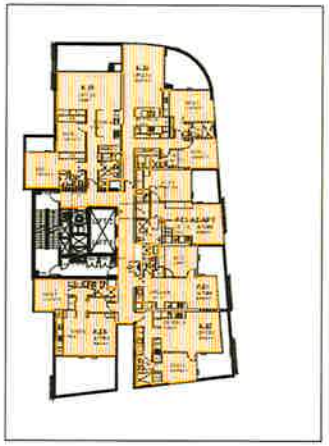
DRAWING
GFA DIAGRAM B

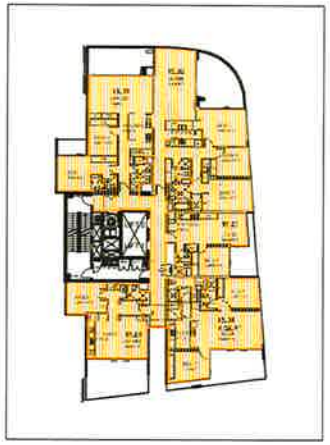
1241	A951-3	1:100@A1
CONSTRN		MC



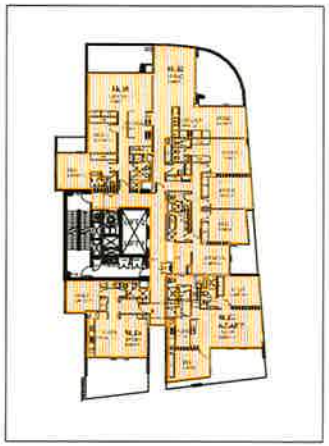
1 LEVEL 6
398.5M2



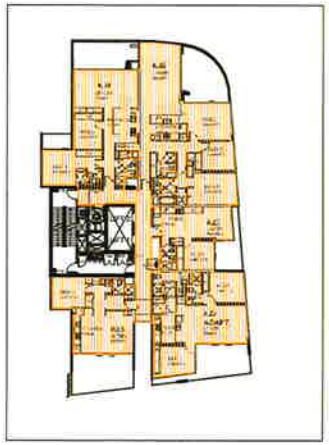
2 LEVEL 7 - 14
398.5M2



3 LEVEL 15, 17, 18
398.5M2



4 LEVEL 16
398.5M2



5 LEVEL 19
398.5M2

6 LEVEL 20
398.5M2

REVISIONS

R	DATE	DESCRIPTION
3	01DEC14	SECTION 96

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GFA DIAGRAM B

1241	DA951-3	1:100@A1
CONSTRN		MC